

RECEIVED
By Mattie VandenBoom at 1:32 pm, Nov 20, 2024

PROPOSED SITE PLAN DOCUMENTS



PROPOSED
EXTENDED STAY HOTEL

LOCATION OF SITE
277 PROVIDENCE STREET, WORCESTER MA
WORCESTER COUNTY
MAP 31, BLOCK 15, LOT 2

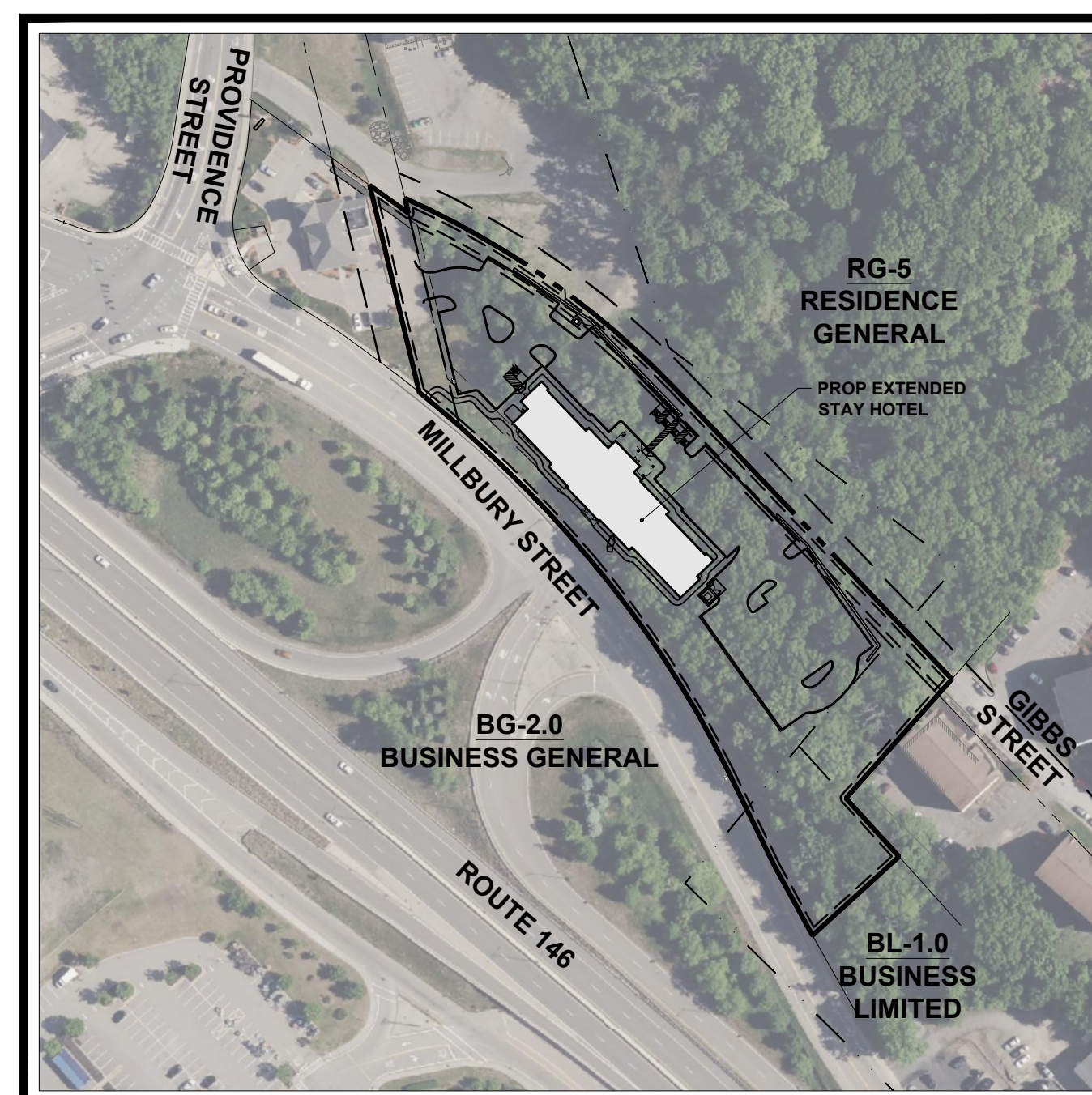
REFERENCES AND CONTACTS

- REFERENCES**
- BOUNDARY & TOPOGRAPHIC SURVEY:
FELDMAN GEOSPATIAL
27 MECHANIC STREET
WORCESTER, MA 01608
DATED: 09/07/2024
SURVEY JOB #2400611
ELEVATIONS: NAVD 1988
 - GEOTECHNICAL INVESTIGATION REPORT:
RANSOM CONSULTING LLC
50 HIGH STREET, SUITE 25
NORTH ANDOVER, MASSACHUSETTS
DATED: 10/04/2024
 - ARCHITECTURAL PLAN:
BRR ARCHITECTURE, INC.
8131 METCALF AVE, SUITE 300
OVERLAND PARK, KS 66204
DATED: 03/07/2024
 - GOVERNING AGENCIES
• WORCESTER PLANNING & REGULATORY SERVICES (DPRS)
455 MAIN STREET
WORCESTER MA, 01608
PHONE: (508) 799-1400
• BUILDING DEPARTMENT
25 MEADE STREET
WORCESTER, MA 01610
PHONE: (508) 799-1198
• FIRE DEPARTMENT
141 GROVE STREET
WORCESTER MA, 01605
PHONE: (508) 799-1821
 - ROW JURISDICTION
• TRAFFIC, STORMWATER, WATER & SEWER
DEPARTMENT OF PUBLIC WORKS (DPW)
20 EAST WORCESTER STREET
WORCESTER MA 01604
PHONE: (508) 929-1300

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



TAX MAP
SCALE: 1" = 2,000'
SOURCE: USGS



AERIAL MAP
SCALE: 1" = 150'

OWNER
DEPOT ASSOCIATES INC.
C/O ATTY MELVYN GLICKMAN

DEVELOPER
PARK SILVER DEVELOPMENT, LLC
8171 MAPLE LAWN BLVD
FULTON, MARYLAND 20759

PREPARED BY



CONTACT: MATTHEW ASHLEY, PE.

SHEET INDEX	
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COVER SHEET	C-101
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REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



PERMIT SET

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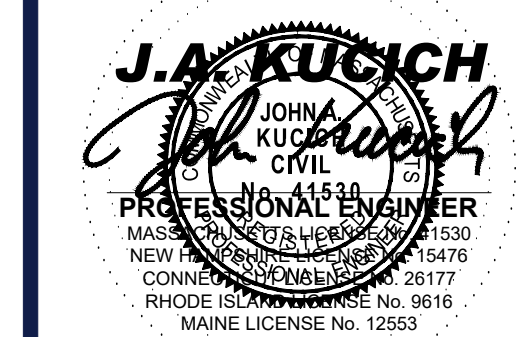
PROJECT No.: MAA240174-00-2A
DRAWN BY: OCR/CJP
CHECKED BY: MMA
DATE: 11/14/2024
CAD ID.: P-CIVIL-CND5

SITE DEVELOPMENT PLANS

FOR

PROPOSED DEVELOPMENT
MAP: 31 | BLK: 15 | LOT: 2
277 PROVIDENCE STREET
WORCESTER COUNTY
WORCESTER, MASSACHUSETTS

BOHLER
352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

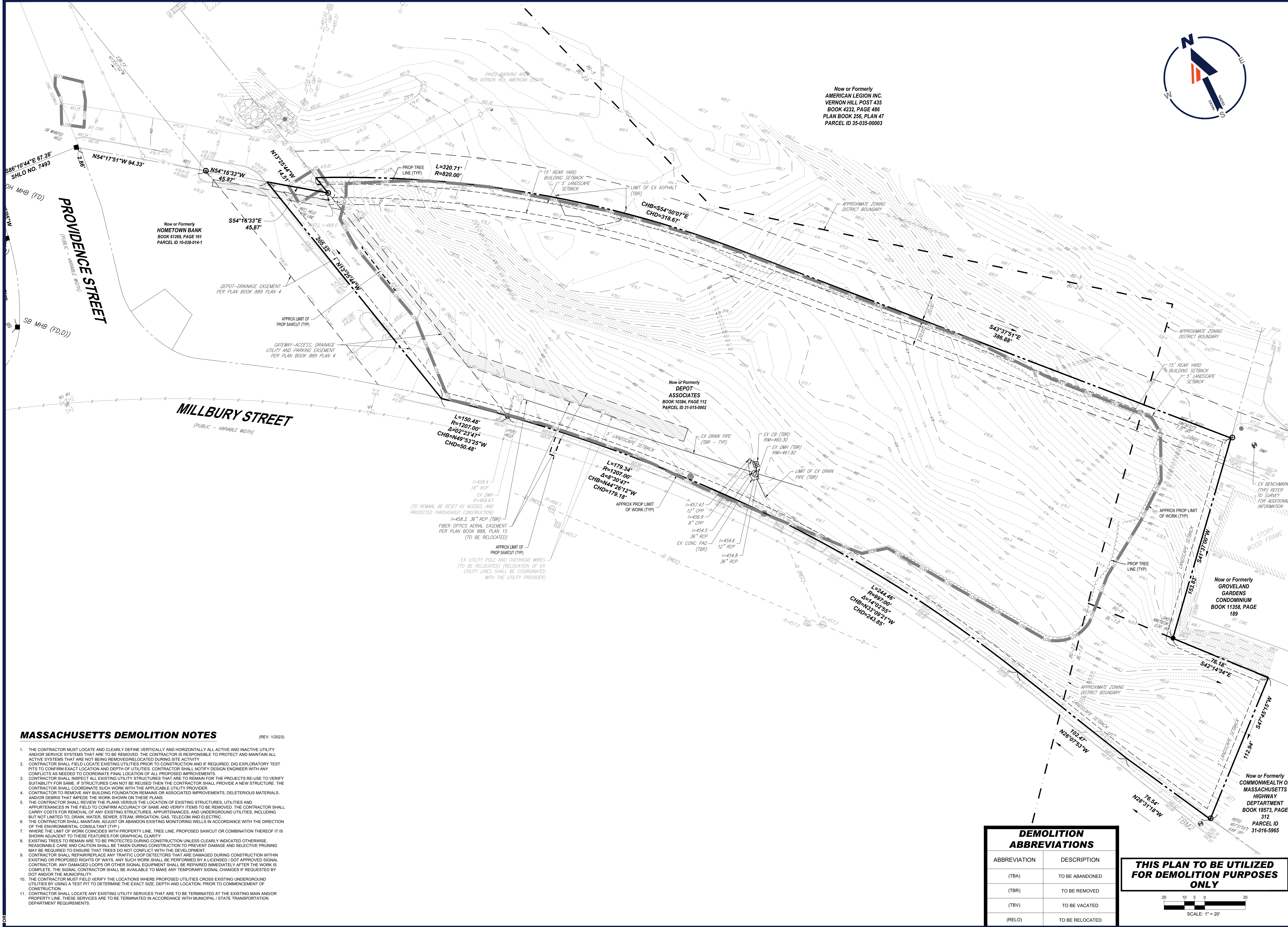


SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-101

ORG. DATE - 11/14/2024

I:\BOHLER\NET\SHARES\BMA\PROJECTS\2024\MAA240174-00-2A\---LAYOUT C-01 COVER



Now or Formerly
AMERICAN LEGION INC.
VERNON HILL POST 435
BOOK 4232, PAGE 486
PLAN BOOK 256, PLAN 47
PARCEL ID 35-035-00003

Now or Formerly
HOMETOWN BANK
BOOK 61269, PAGE 161
PARCEL ID 10-038-014-1

Now or Formerly
DEPOT
ASSOCIATES
BOOK 10394, PAGE 112
PARCEL ID 31-015-0002

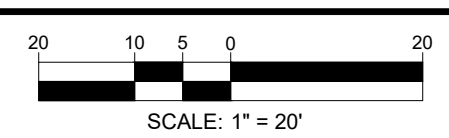
Now or Formerly
GROVELAND
GARDENS
CONDOMINIUM
BOOK 11358, PAGE
189

MASSACHUSETTS DEMOLITION NOTES (REV. 1/2023)

1. THE CONTRACTOR MUST LOCATE AND CLEARLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
2. CONTRACTOR SHALL FIELD LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION AND IF REQUIRED, DIG EXPLORATORY TEST PITS TO CONFIRM EXACT LOCATION AND DEPTH OF UTILITIES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER WITH ANY CONFLICTS AS NEEDED TO COORDINATE FINAL LOCATION OF ALL PROPOSED IMPROVEMENTS.
3. CONTRACTOR SHALL INSPECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN FOR THE PROJECTS RE-USE TO VERIFY SUITABILITY FOR SAME. IF STRUCTURES CAN NOT BE REUSED THEN THE CONTRACTOR SHALL PROVIDE A NEW STRUCTURE. THE CONTRACTOR SHALL COORDINATE SUCH WORK WITH THE APPLICABLE UTILITY PROVIDER.
4. CONTRACTOR TO REMOVE ANY BUILDING FOUNDATION REMAINS OR ASSOCIATED IMPROVEMENTS, DELETERIOUS MATERIALS, AND/OR DEBRIS THAT IMPEDS THE WORK SHOWN ON THESE PLANS.
5. THE CONTRACTOR SHALL REVIEW THE PLANS VERSUS THE LOCATION OF EXISTING STRUCTURES, UTILITIES AND APPURTENANCES IN THE FIELD TO CONFIRM ACCURACY OF SAME AND VERIFY ITEMS TO BE REMOVED. THE CONTRACTOR SHALL CARRY COSTS FOR REMOVAL OF ANY EXISTING STRUCTURES, APPURTENANCES, AND UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO, DRAIN, WATER, SEWER, STEAM, IRRIGATION, GAS, TELECOM AND ELECTRIC.
6. THE CONTRACTOR SHALL MAINTAIN, ADJUST OR ABANDON EXISTING MONITORING WELLS IN ACCORDANCE WITH THE DIRECTION OF THE ENVIRONMENTAL CONSULTANT (TYP).
7. WHERE THE LIMIT OF WORK COINCIDES WITH PROPERTY LINE, TREE LINE, PROPOSED SAWCUT OR COMBINATION THEREOF IT IS SHOWN ADJACENT TO THESE FEATURES FOR GRAPHICAL CLARITY.
8. EXISTING TREES TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION UNLESS CLEARLY INDICATED OTHERWISE. REASONABLE CARE AND CAUTION SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT DAMAGE AND SELECTIVE PRUNING MAY BE REQUIRED TO ENSURE THAT TREES DO NOT CONFLICT WITH THE DEVELOPMENT.
9. CONTRACTOR SHALL REPAIR/REPLACE ANY TRAFFIC LOOP DETECTORS THAT ARE DAMAGED DURING CONSTRUCTION WITHIN EXISTING OR PROPOSED RIGHTS OF WAYS. ANY SUCH WORK SHALL BE PERFORMED BY A LICENSED (DOT APPROVED) SIGNAL CONTRACTOR. ANY DAMAGED LOOPS OR OTHER SIGNAL EQUIPMENT SHALL BE REPAIRED IMMEDIATELY AFTER THE WORK IS COMPLETE. THE SIGNAL CONTRACTOR SHALL BE AVAILABLE TO MAKE ANY TEMPORARY SIGNAL CHANGES IF REQUESTED BY DOT AND/OR THE MUNICIPALITY.
10. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS WHERE PROPOSED UTILITIES CROSS EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO DETERMINE THE EXACT SIZE, DEPTH AND LOCATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. CONTRACTOR SHALL LOCATE ANY EXISTING UTILITY SERVICES THAT ARE TO BE TERMINATED AT THE EXISTING MAIN AND/OR PROPERTY LINE. THESE SERVICES ARE TO BE TERMINATED IN ACCORDANCE WITH MUNICIPAL / STATE TRANSPORTATION DEPARTMENT REQUIREMENTS.

DEMOLITION ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: MAA240174-00-2A
DRAWN BY: OCR/CJP
CHECKED BY: MMA
DATE: 11/14/2024
CAD ID: P-CIVL-SITE

SITE DEVELOPMENT PLANS

FOR

PROPOSED DEVELOPMENT

MAP: 31 | BLK: 15 | LOT: 2
277 PROVIDENCE STREET
WORCESTER COUNTY
WORCESTER, MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

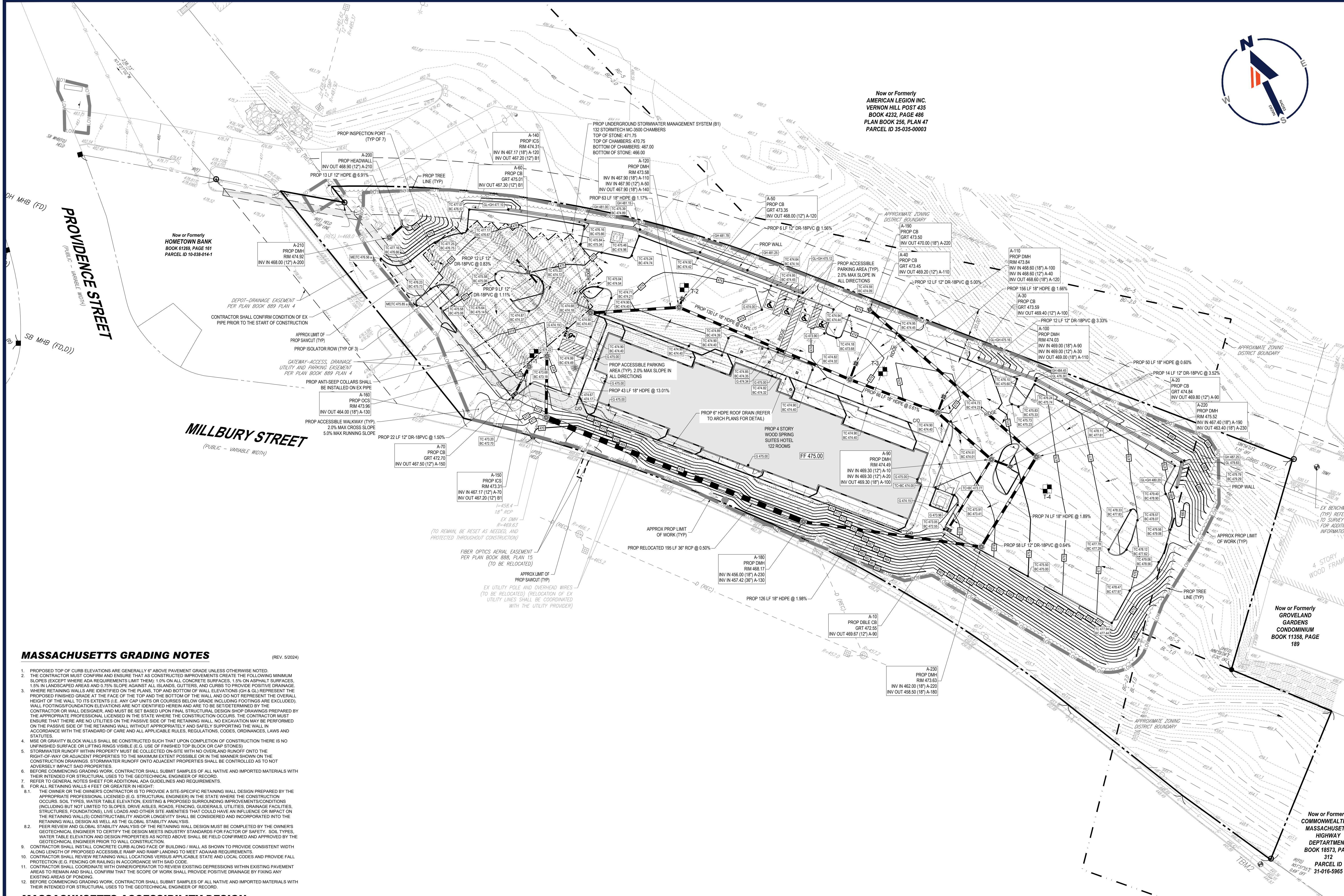
Now or Formerly
COMMONWEALTH OF
MASSACHUSETTS
HIGHWAY
DEPARTMENT
BOOK 18573, PAGE
312
PARCEL ID
31-016-5965

SHEET TITLE:
EXISTING CONDITIONS/ DEMOLITION PLAN

SHEET NUMBER:
C-201

ORG. DATE - 11/14/2024

I:\BOHLER\NET\SHURE\BMA\PROJECTS\2024\MAA240174-00-2A\DRAWINGS\PLAN SETS\CIVIL SITE PLAN\BP_CIVL_SITE_MAA240174_00-2A--LAYOUT_C-201.DWG



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

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PROJECT No.: MAA240174.00-2A
 DRAWN BY: CCR/CJP
 CHECKED BY: MMA
 DATE: 11/14/2024
 CAD ID: P-CIVIL-SITE

SITE DEVELOPMENT PLANS

FOR

Park Silver
 DEVELOPMENT

PROPOSED DEVELOPMENT

MAP: 31 | BLK: 15 | LOT: 2
 277 PROVIDENCE STREET
 WORCESTER COUNTY
 WORCESTER, MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
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 NEW HAVEN, CT. REG. NO. 15476
 CONN. REG. NO. 15177
 RHODE ISLAND REG. NO. 0616
 MAINE LICENSE NO. 12553

GRADING AND DRAINAGE PLAN

SHEET TITLE:
C-401

SHEET NUMBER:
C-401

ORG. DATE - 11/14/2024

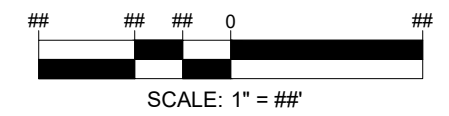
MASSACHUSETTS GRADING NOTES (REV. 5/2024)

- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES, 1.5% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS TO PROVIDE POSITIVE DRAINAGE.
- WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL ELEVATIONS (GH & GL) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE TOP AND THE BOTTOM OF THE WALL AND DO NOT REPRESENT THE OVERALL HEIGHT OF THE WALL TO ITS EXTENTS (I.E. ANY CAP UNITS OR COURSES BELOW GRADE, INCLUDING FOOTINGS ARE EXCLUDED). WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES, ORDINANCES, LAWS AND STATUTES.
- MSE OR GRAVITY BLOCK WALLS SHALL BE CONSTRUCTED SUCH THAT UPON COMPLETION OF CONSTRUCTION THERE IS NO UNFINISHED SURFACE OR LIFTING RINGS VISIBLE (E.G. USE OF FINISHED TOP BLOCK OR CAP STONES).
- STORMWATER RUNOFF WITHIN PROPERTY MUST BE COLLECTED ON-SITE WITH NO OVERLAND RUNOFF ONTO THE RIGHT-OF-WAY OR ADJACENT PROPERTIES TO THE MAXIMUM EXTENT POSSIBLE OR IN THE MANNER SHOWN ON THE CONSTRUCTION DRAWINGS. STORMWATER RUNOFF ONTO ADJACENT PROPERTIES SHALL BE CONTROLLED AS TO NOT ADVERSELY IMPACT SAID PROPERTIES.
- BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD.
- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL ADA GUIDELINES AND REQUIREMENTS.
- FOR ALL RETAINING WALLS 4 FEET OR GREATER IN HEIGHT:
 - THE OWNER OR THE OWNER'S CONTRACTOR IS TO PROVIDE A SITE-SPECIFIC RETAINING WALL DESIGN PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED (E.G. STRUCTURAL ENGINEER) IN THE STATE WHERE THE CONSTRUCTION OCCURS. SOIL TYPES, WATER TABLE ELEVATION, EXISTING & PROPOSED SURROUNDING IMPROVEMENTS/CONDITIONS (INCLUDING BUT NOT LIMITED TO SLOPES, DRIVEWAYS, ROADS, FENCING, GUIDEWALLS, UTILITIES, DRAINAGE FACILITIES, STRUCTURES, FOUNDATIONS, LIVE LOADS AND OTHER SITE AMENITIES THAT COULD HAVE AN INFLUENCE OR IMPACT ON THE RETAINING WALL(S)) CONSTRUCTION STABILITY AND/OR LONGEVITY SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN AS WELL AS THE GLOBAL STABILITY ANALYSIS.
 - PEER REVIEW AND GLOBAL STABILITY ANALYSIS OF THE RETAINING WALL DESIGN MUST BE COMPLETED BY THE OWNER'S GEOTECHNICAL ENGINEER TO CERTIFY THE DESIGN MEETS INDUSTRY STANDARDS FOR FACTOR OF SAFETY. SOIL TYPES, WATER TABLE ELEVATION AND DESIGN PROPERTIES AS NOTED ABOVE SHALL BE FIELD CONFIRMED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO WALL CONSTRUCTION.
- CONTRACTOR SHALL INSTALL CONCRETE CURB ALONG FACE OF BUILDING / WALL AS SHOWN TO PROVIDE CONSISTENT WIDTH ALONG LENGTH OF PROPOSED ACCESSIBLE RAMP AND RAMP LANDING TO MEET ADA/AB REQUIREMENTS.
- CONTRACTOR SHALL REVIEW RETAINING WALL LOCATIONS VERSUS APPLICABLE STATE AND LOCAL CODES AND PROVIDE FALL PROTECTION (E.G. FENCING OR RAILING) IN ACCORDANCE WITH SAID CODE.
- CONTRACTOR SHALL COORDINATE WITH OWNER/OPERATOR TO REVIEW EXISTING DEPRESSIONS WITHIN EXISTING PAVEMENT AREAS TO REMAIN AND SHALL CONFIRM THAT THE SCOPE OF WORK SHALL PROVIDE POSITIVE DRAINAGE BY FIXING ANY EXISTING AREAS OF FLOODING.
- BEFORE COMMENCING GRADING WORK, CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NATIVE AND IMPORTED MATERIALS WITH THEIR INTENDED FOR STRUCTURAL USES TO THE GEOTECHNICAL ENGINEER OF RECORD.

MASSACHUSETTS ACCESSIBILITY DESIGN GUIDELINES (REV. 5/2024)

- IN ADDITION TO THE ACCESSIBILITY DESIGN GUIDELINES ON SHEET C-102, THE CONTRACTOR MUST ALSO ENSURE THAT ALL ACCESSIBLE COMPONENTS AND ACCESSIBLE ROUTES ARE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATIONS 801 CMR. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES BETWEEN THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE AND STATE BUILDING CODE AS IT RELATES TO ANY ACCESSIBLE IMPROVEMENTS BEING CONSTRUCTED PRIOR TO COMMENCING THE WORK.

THIS PLAN TO BE UTILIZED FOR GRADING, DRAINAGE AND UTILITIES PURPOSES ONLY



BOHLER ENGINEERING, INC. PROJECT: 2024-MAA240174.00-2A-DRAWING: PLAN SETS: CIVIL SITE PLAN: MAA240174.00-2A-J: JAVOUT: C-401 GRDR

MASSACHUSETTS EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY 100% CALCIUM LIME (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT THE RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOD ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - STRAW MULCH AT THE RATE OF 70-80 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDER OF CONDITIONS.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

LOCATION PROTECTED AREA	MULCH STRAW	MULCH RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELORIN MAT	AS REQUIRED

GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

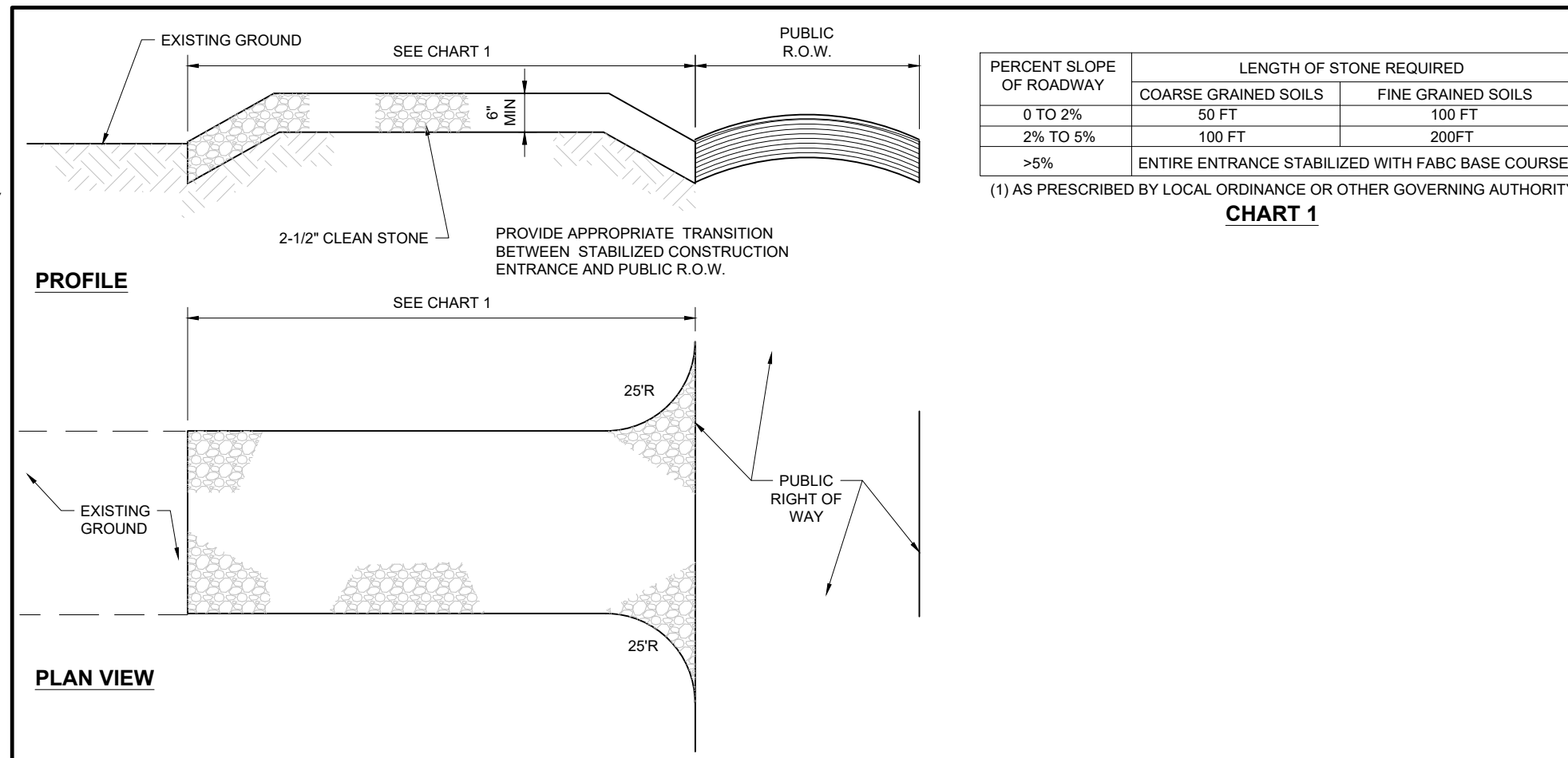
* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.

* MULCH ANCHORING - ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK WEETING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

- PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. SEDIMENT TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARPED TO PREVENT COMPACTATION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
- THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
- THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.
- EROSION CONTROL NOTES DURING WINTER CONSTRUCTION
 - WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
 - WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT THE AMOUNT OF AREA OPEN AT ONE TIME IS MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE AND IN CONFORMANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN SUCH THAT ADEQUATE PROVISIONS ARE EMPLOYED TO CONTROL STORMWATER RUNOFF.
 - CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
 - AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
 - FOR AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD EXCEEDING 14 DAYS BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEED. IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEED AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED AS APPLICABLE. SLOPES SHALL NOT BE LEFT UNSTABILIZED OVER THE WINTER OR IN AREAS WHERE WORK HAS CEASED FOR MORE THAN 14 DAYS UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SEDIMENT BARRIERS OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
 - MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
 - ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN.
 - DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

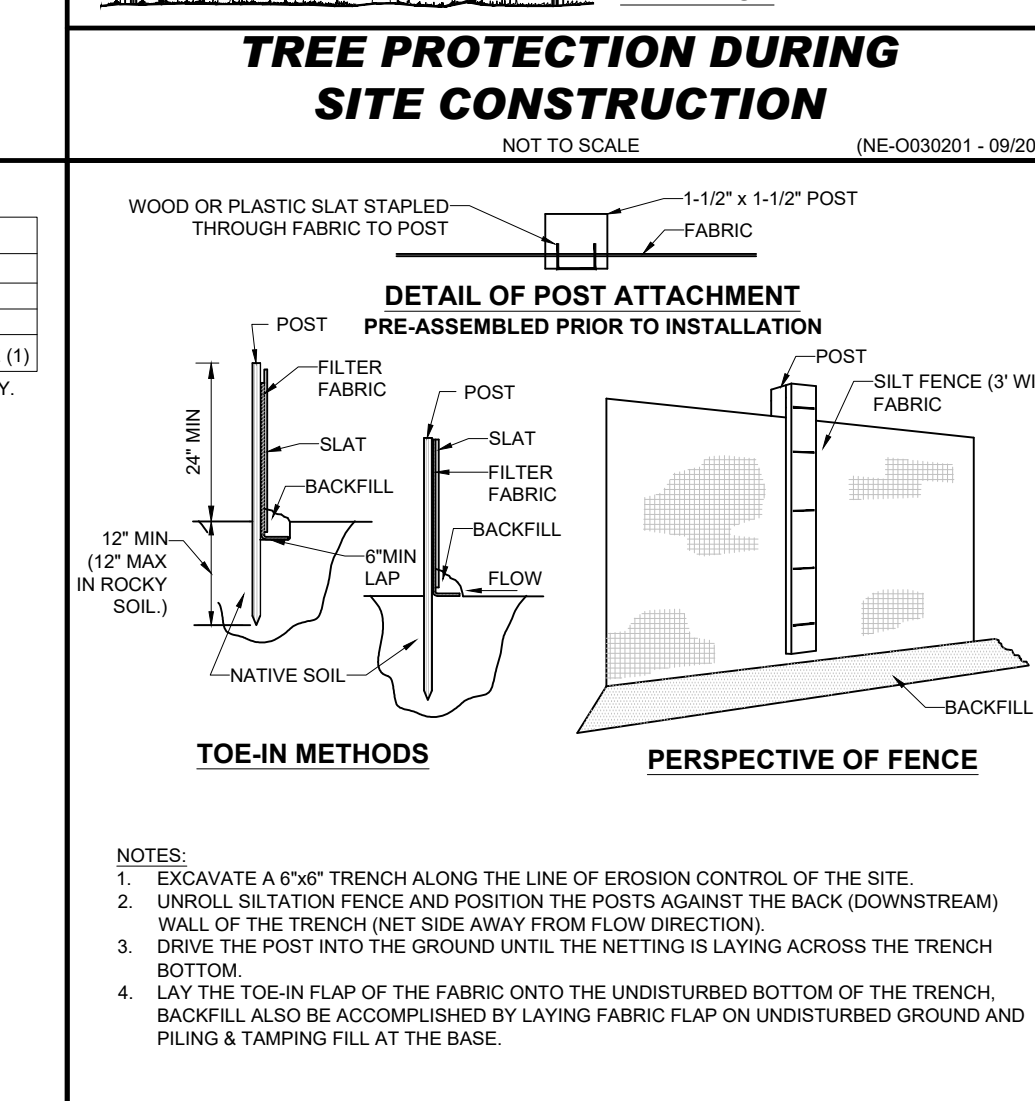
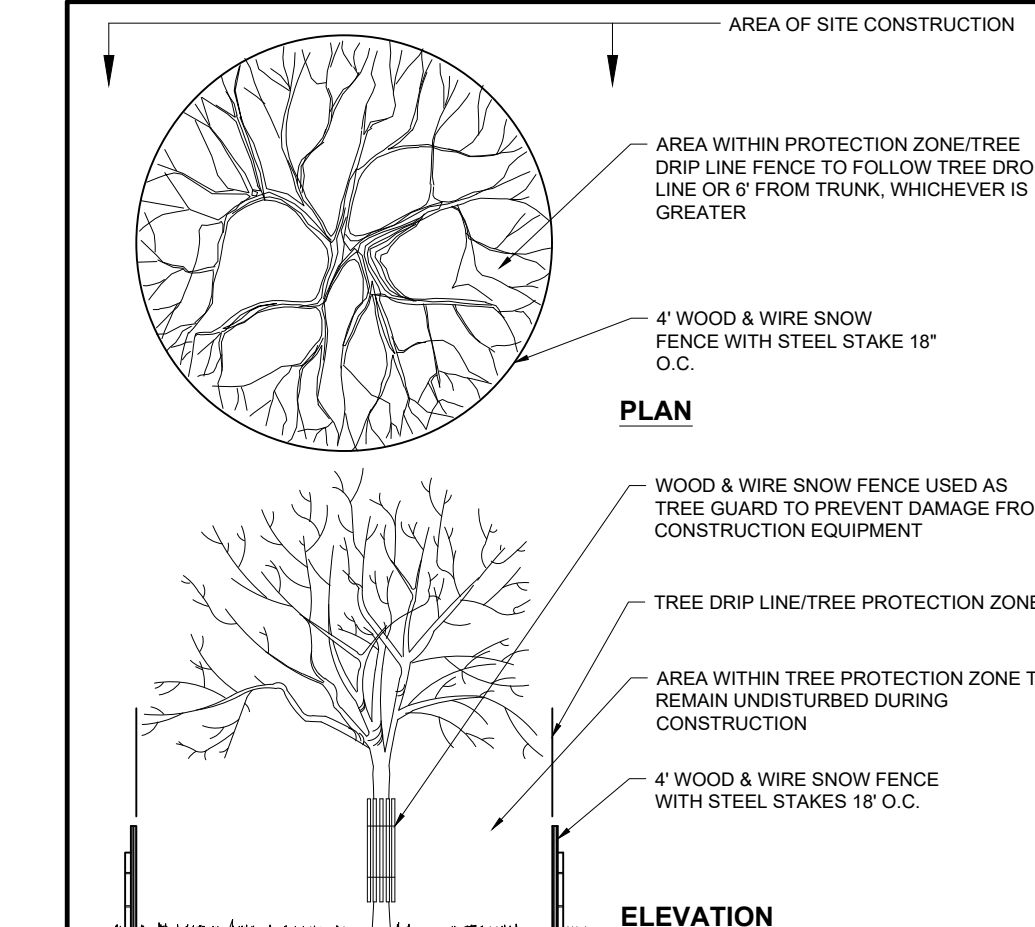
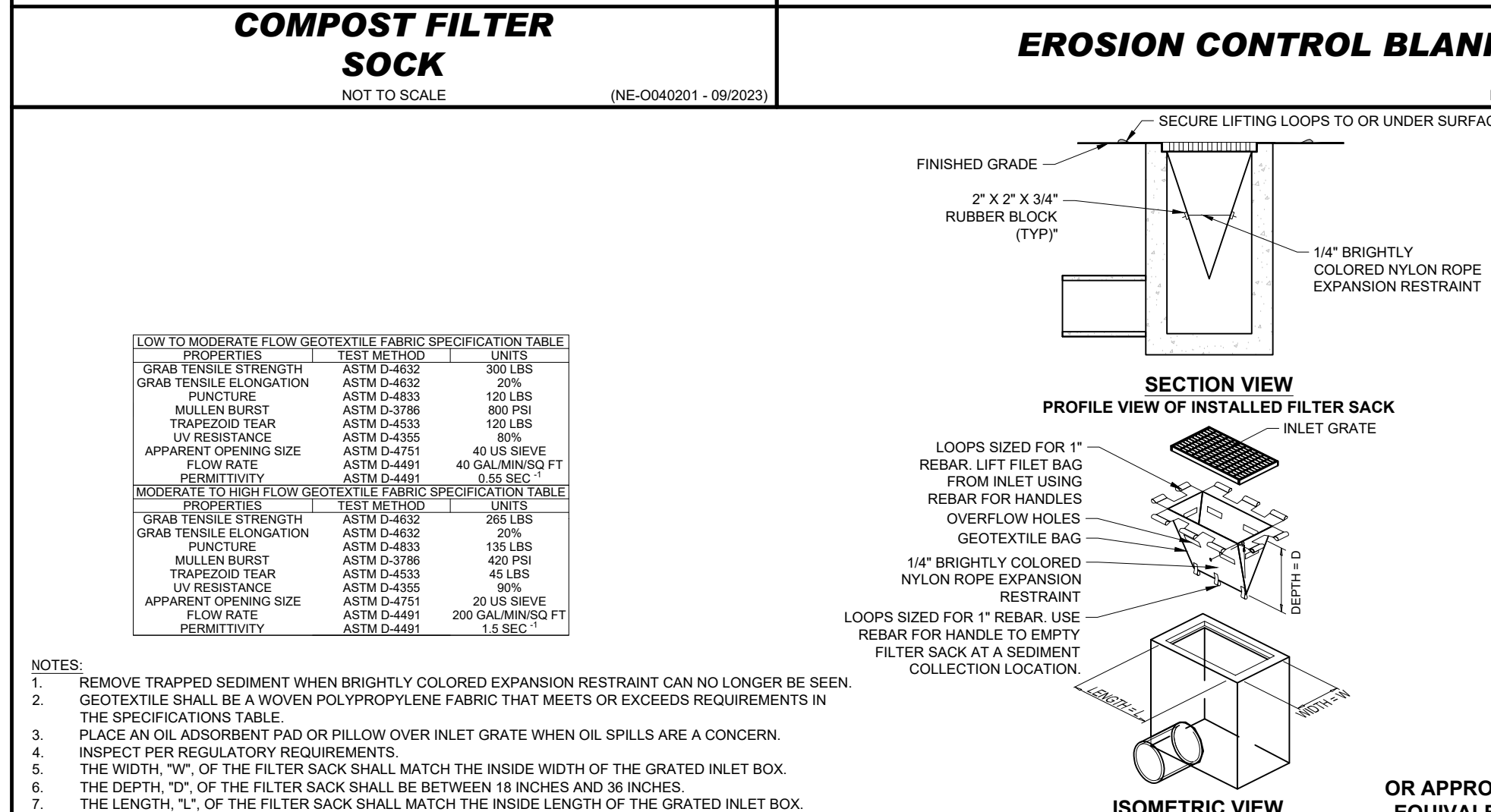
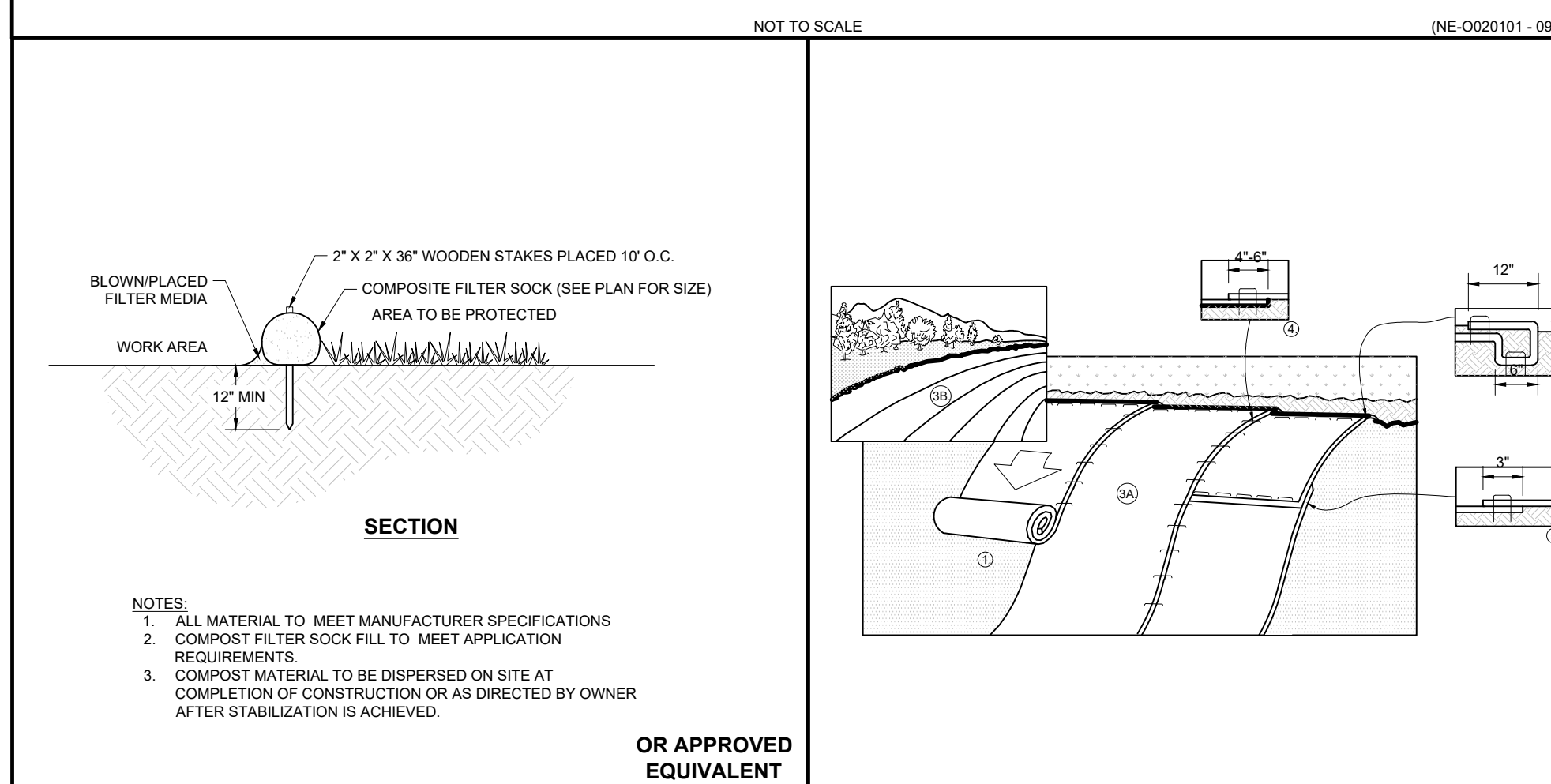
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.53 ACRES.
- THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES.
 - INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
- THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
- THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
- THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
- THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
- THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
- SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
- THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.



STABILIZED CONSTRUCTION ENTRANCE

SILT FENCE



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CHECKED BY: MMA
DATE: 11/14/2024
CAD ID: P-CIVL-CND5

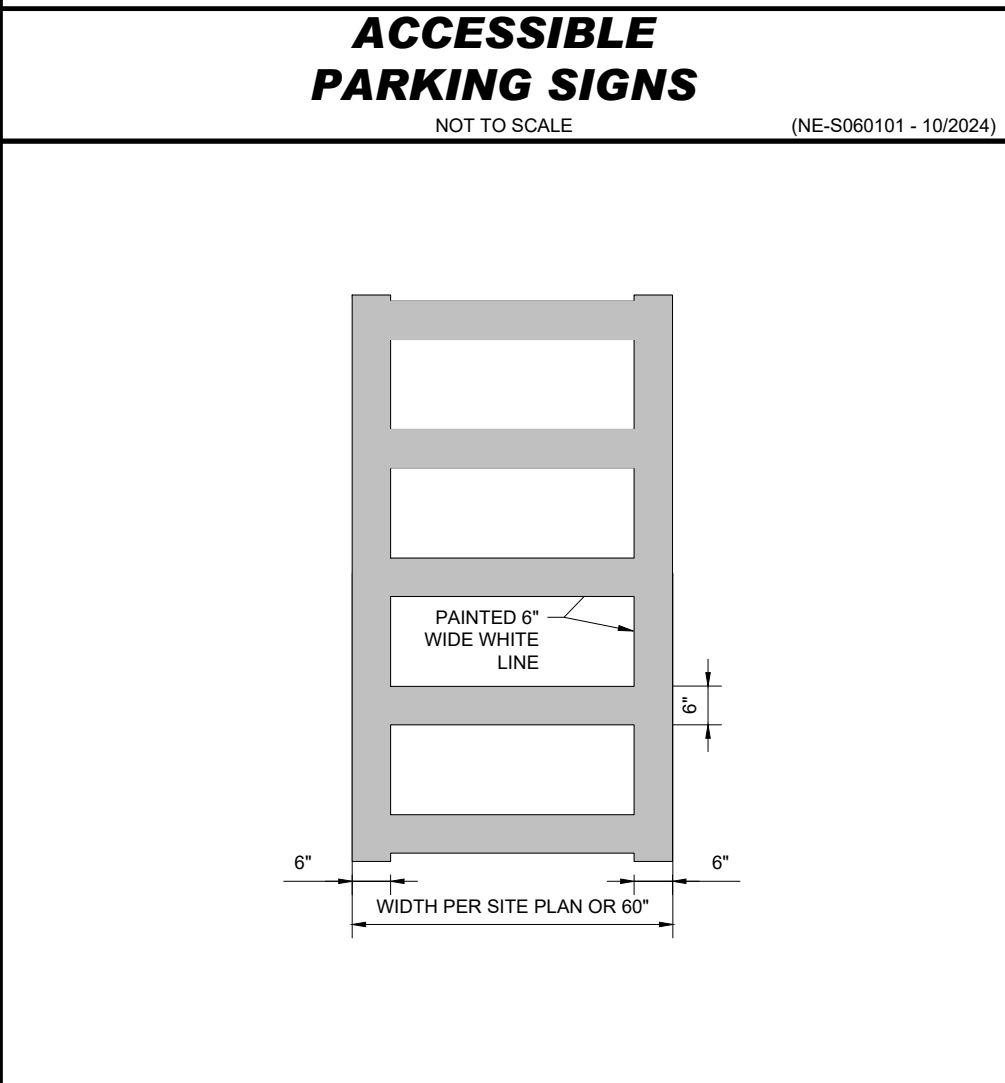
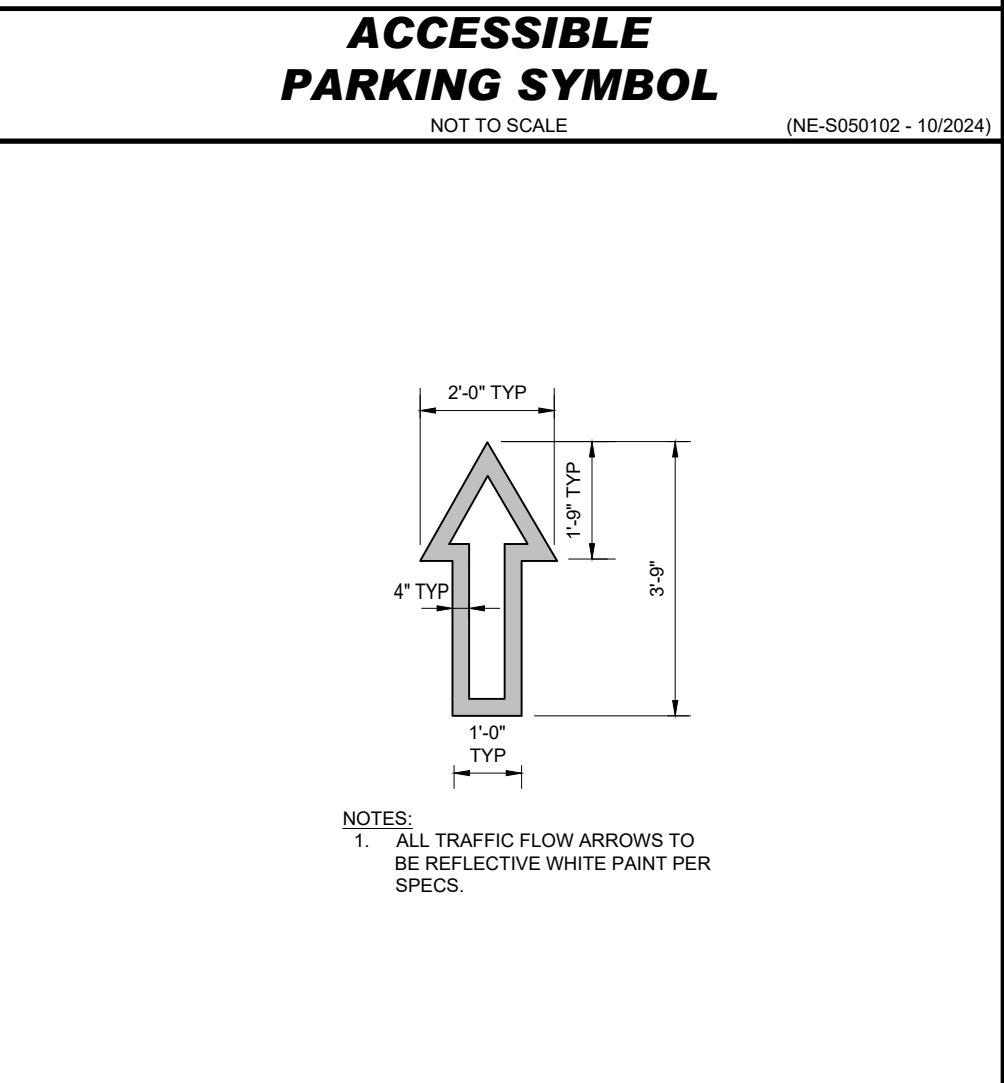
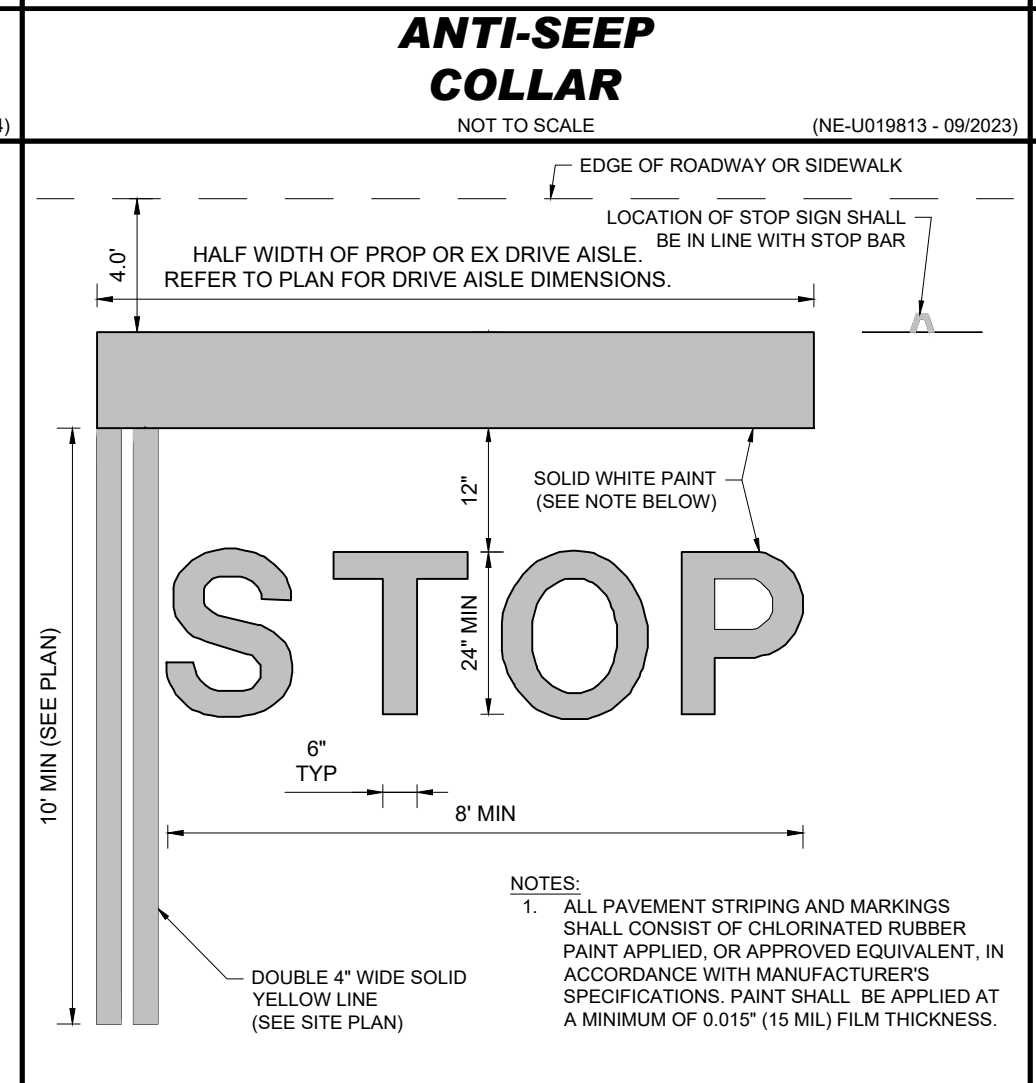
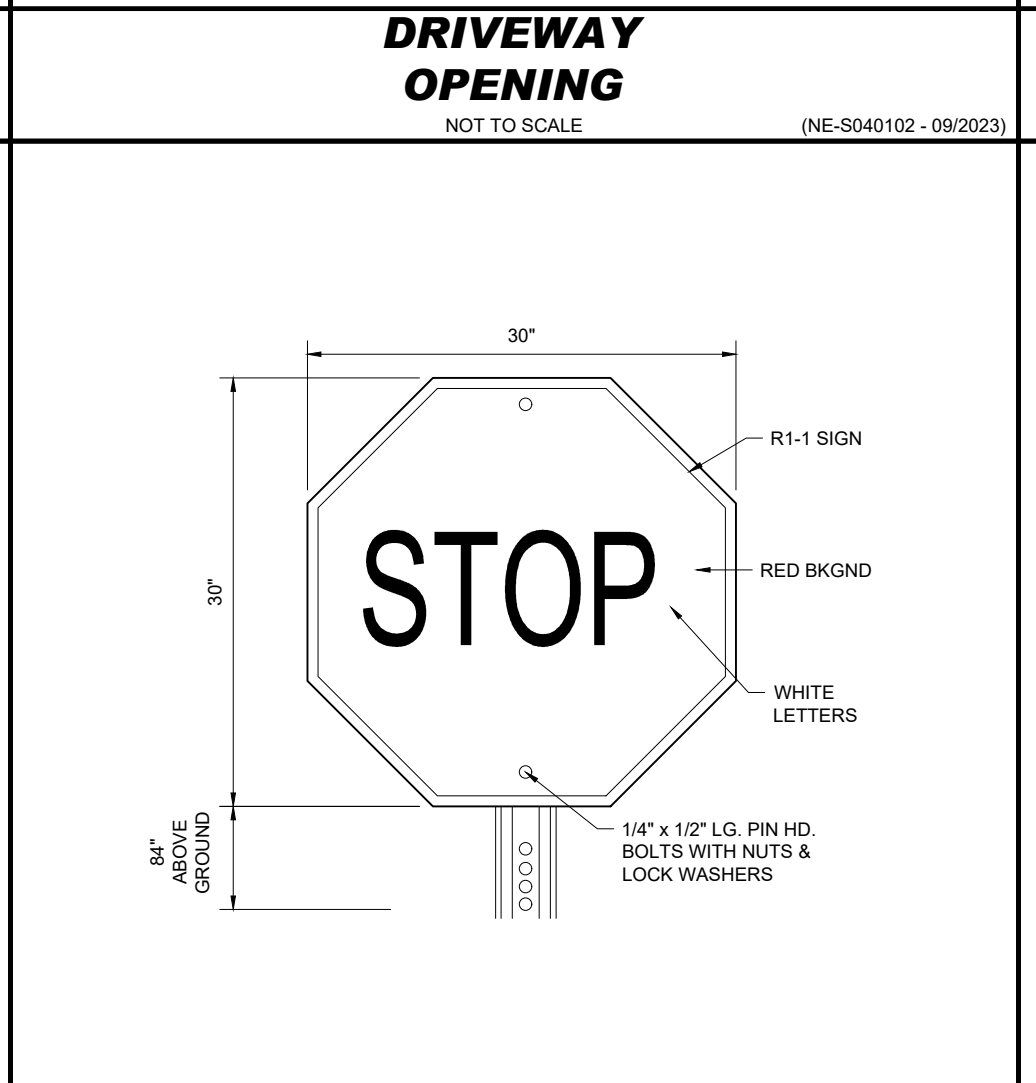
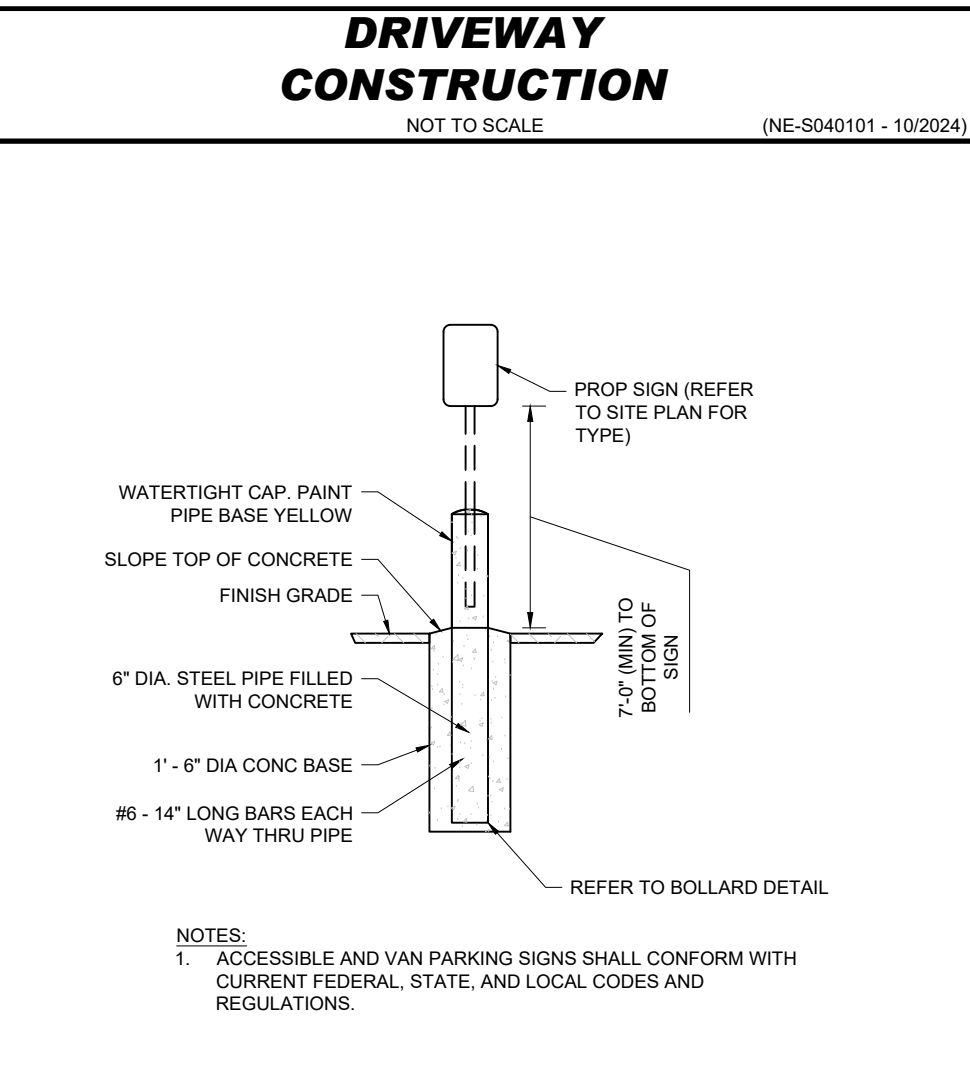
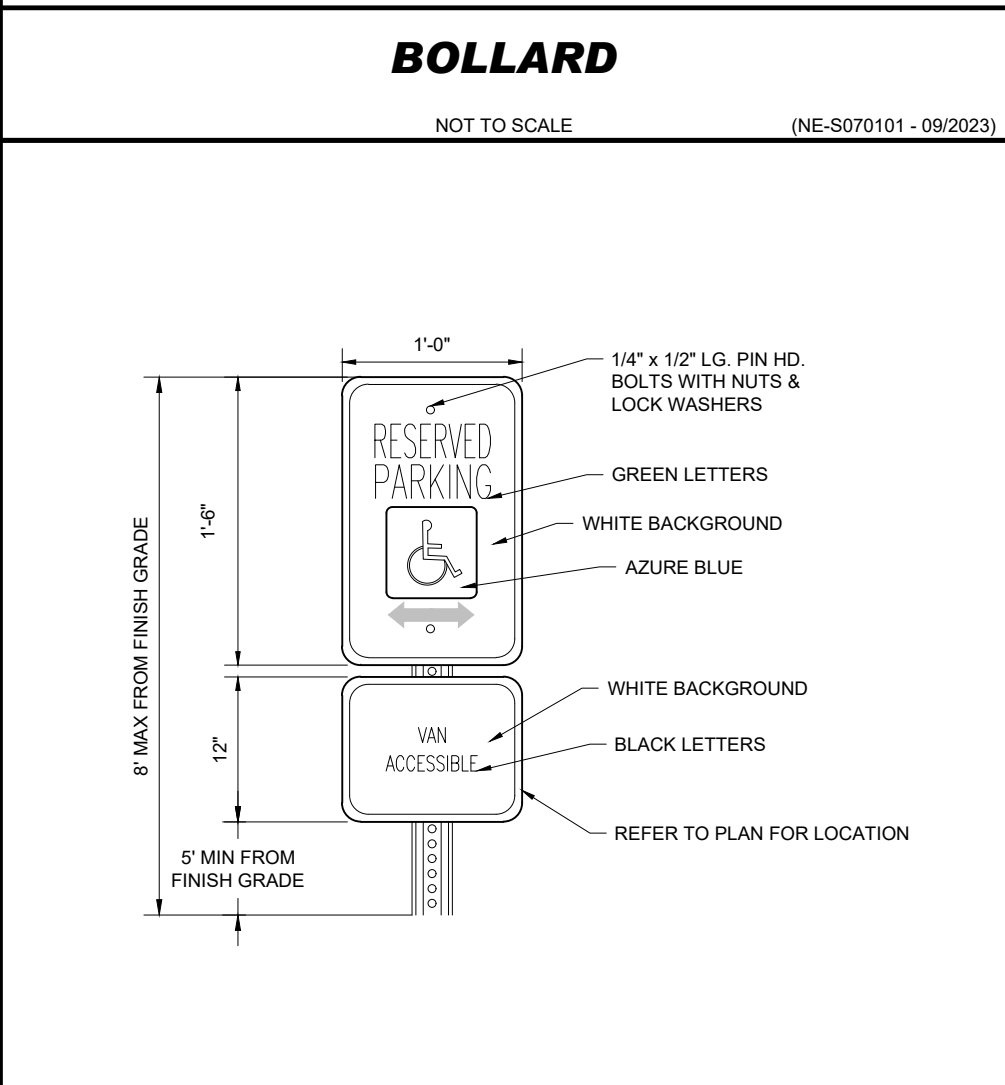
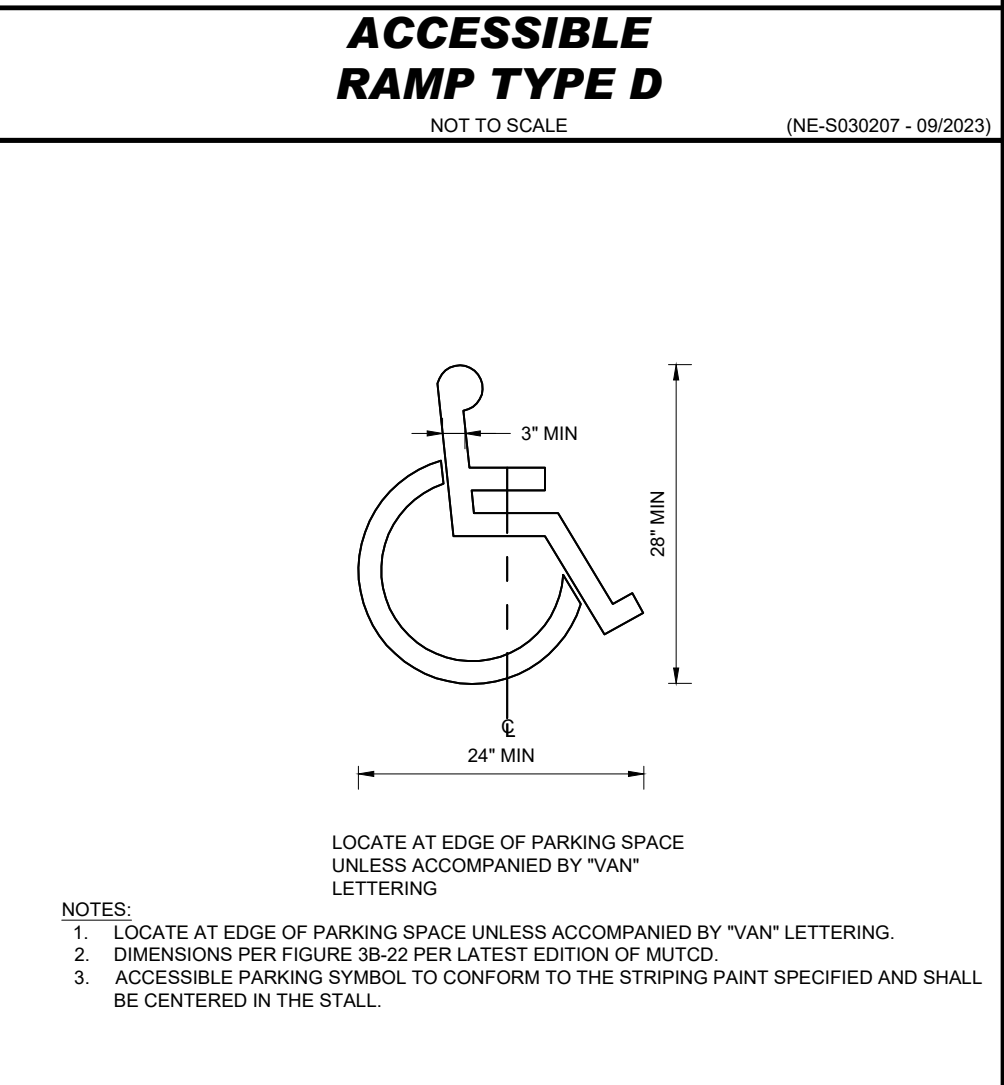
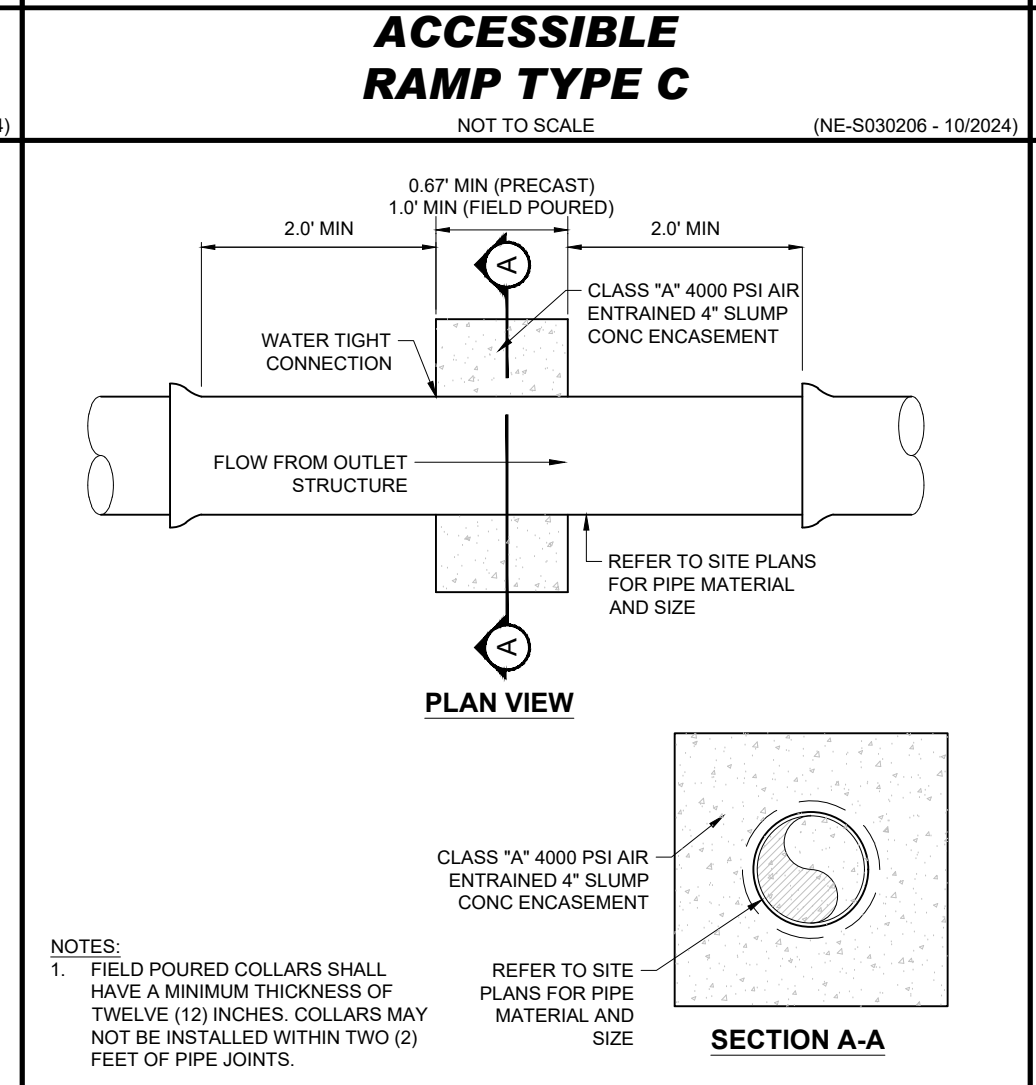
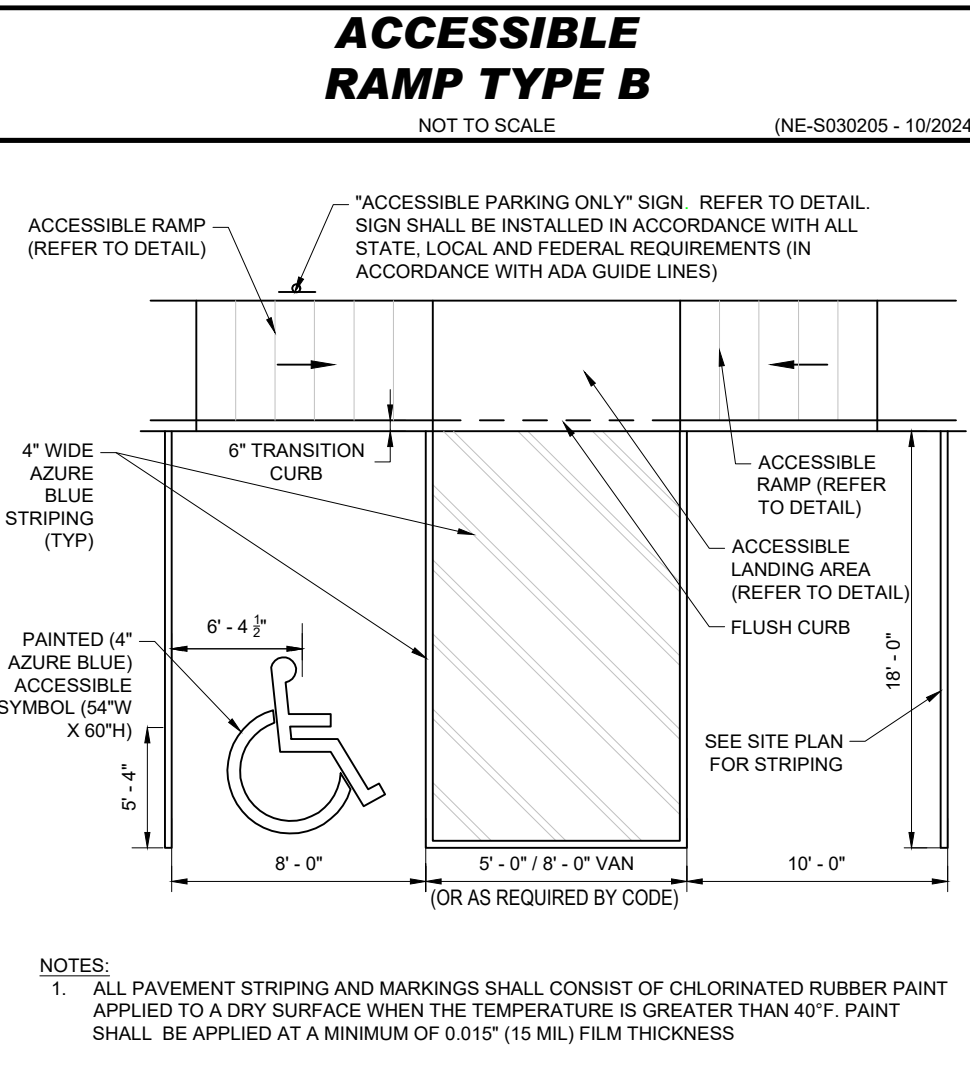
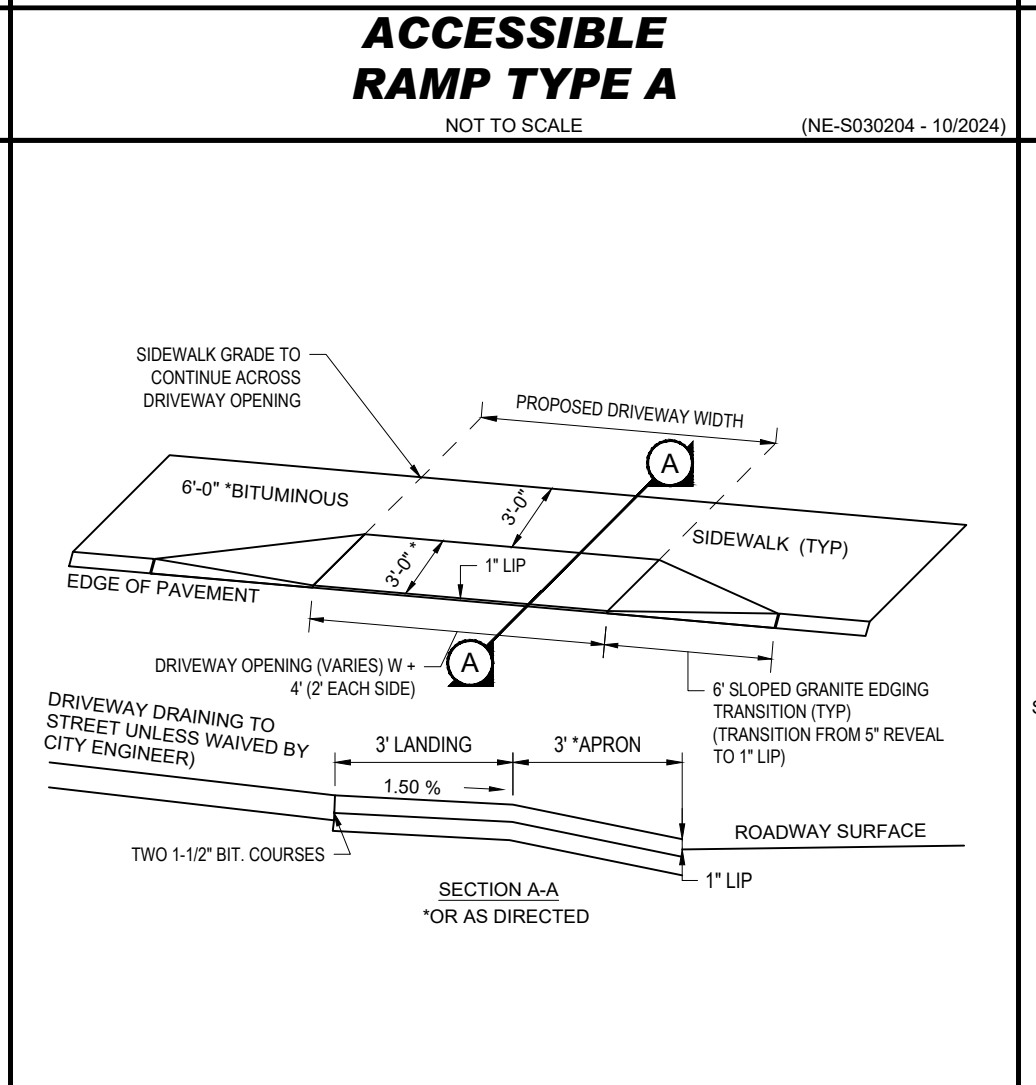
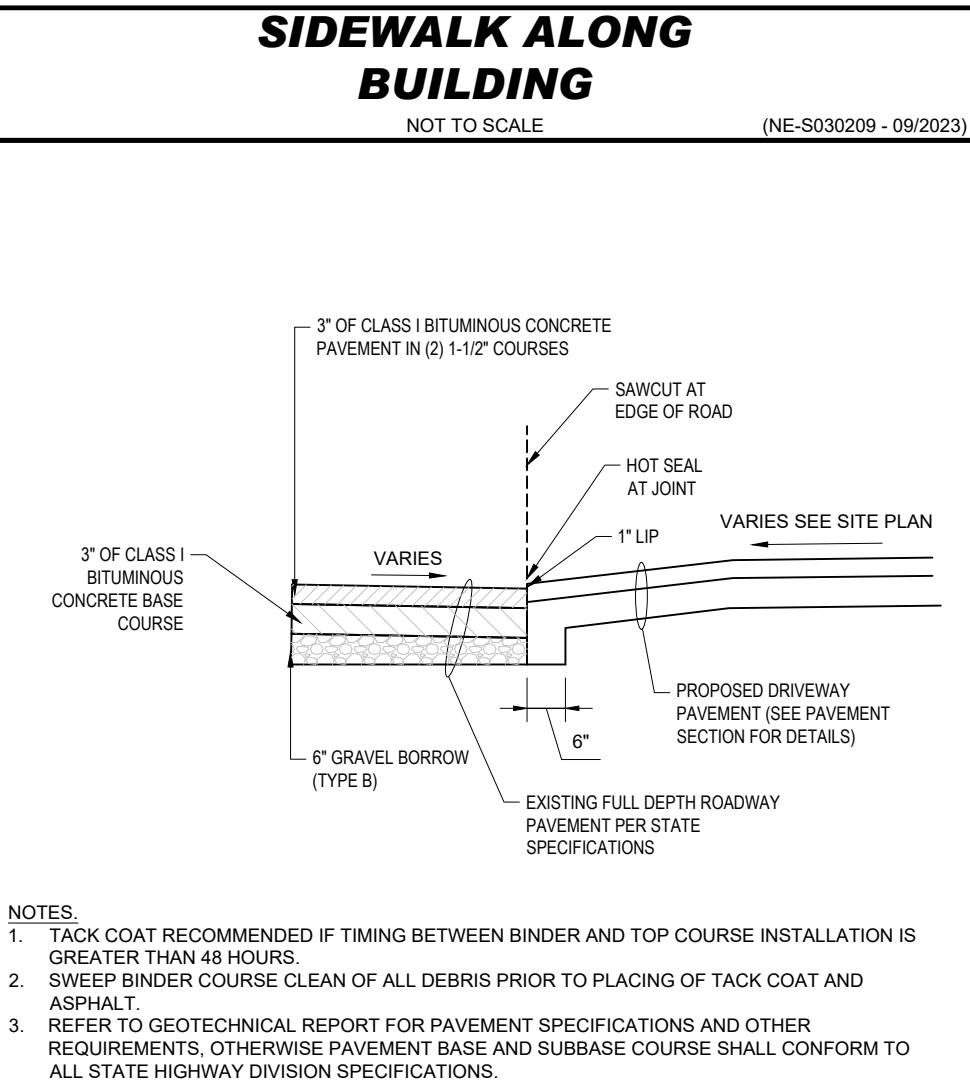
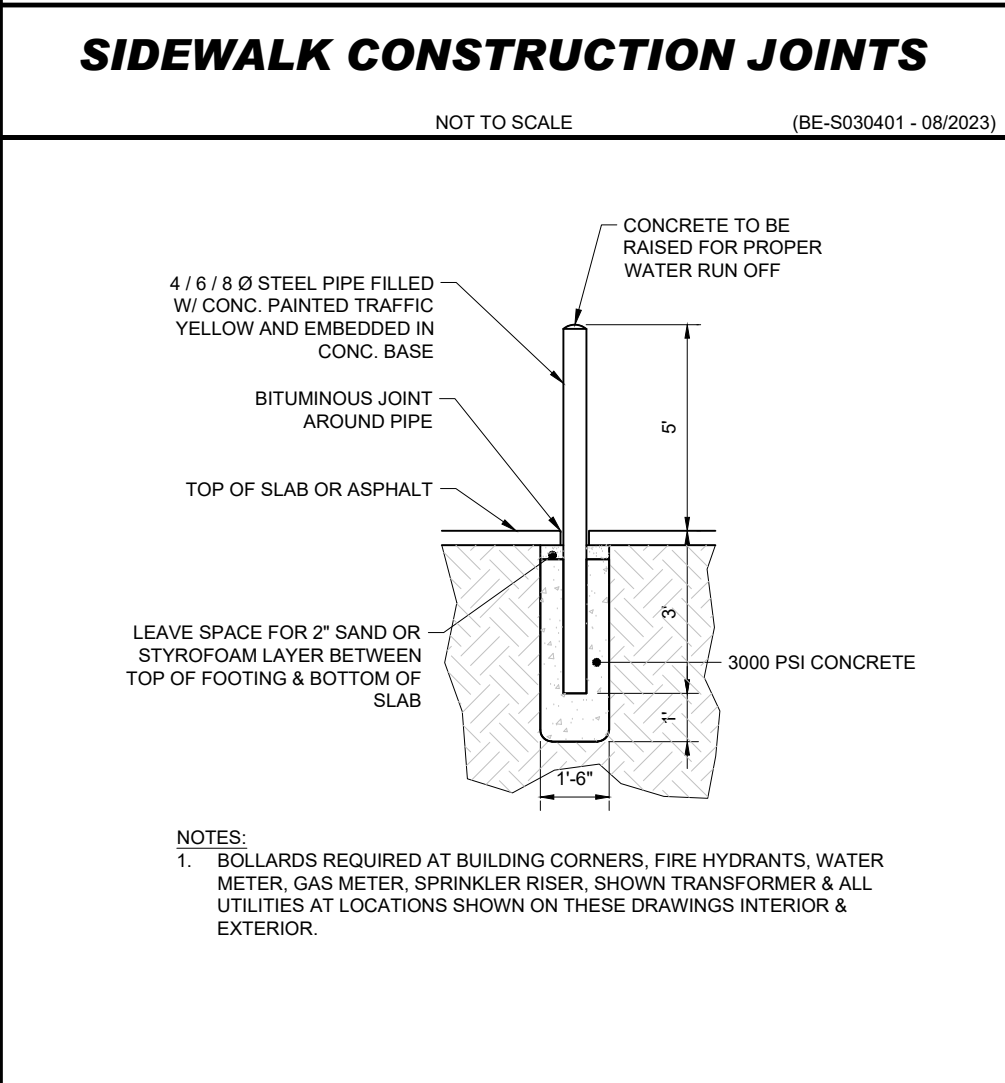
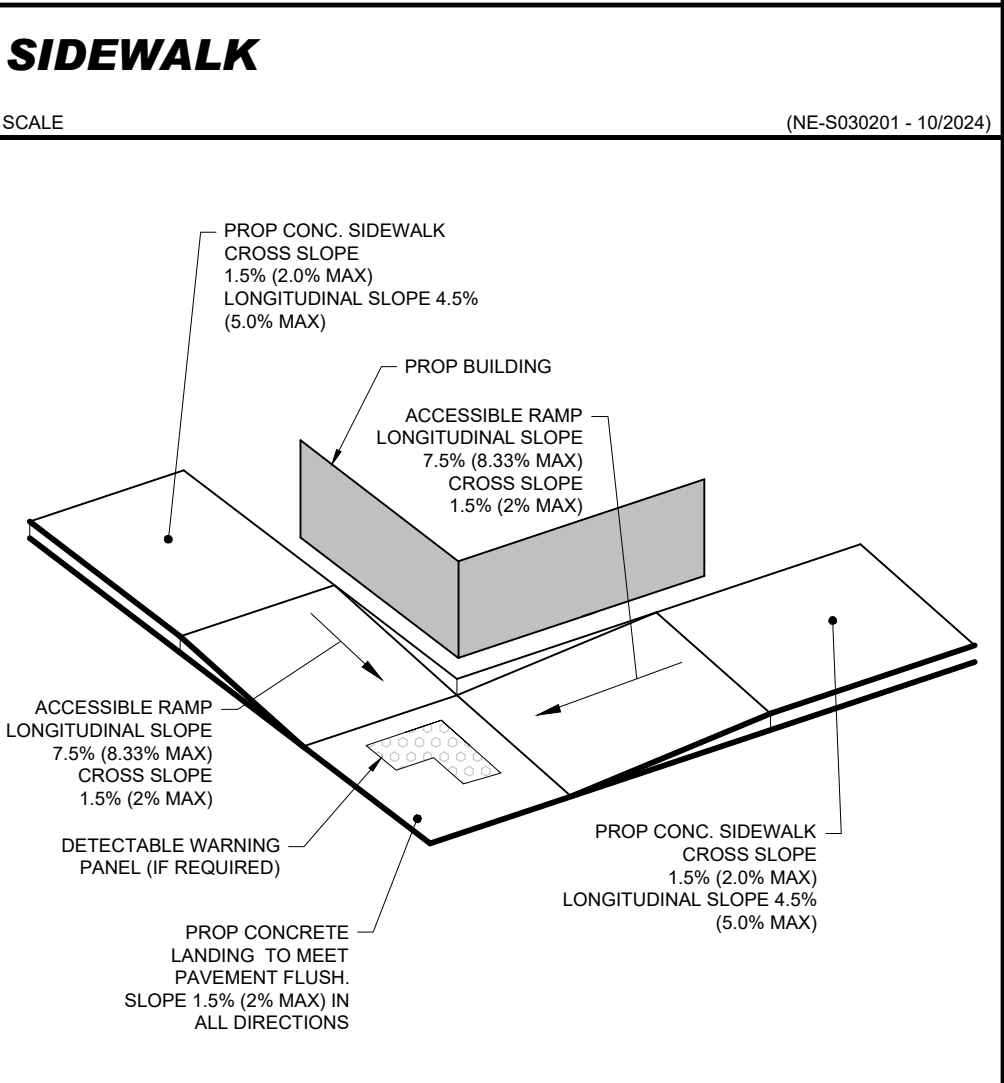
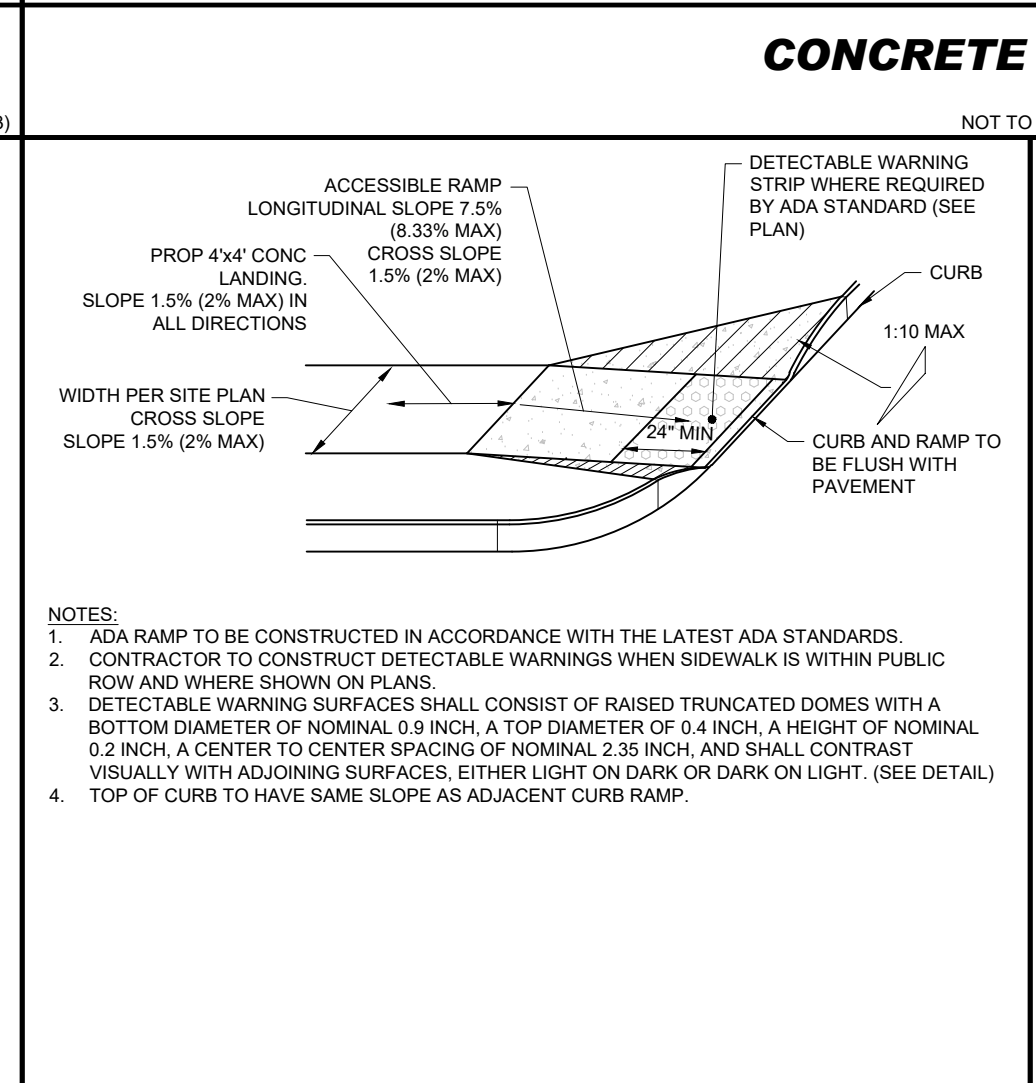
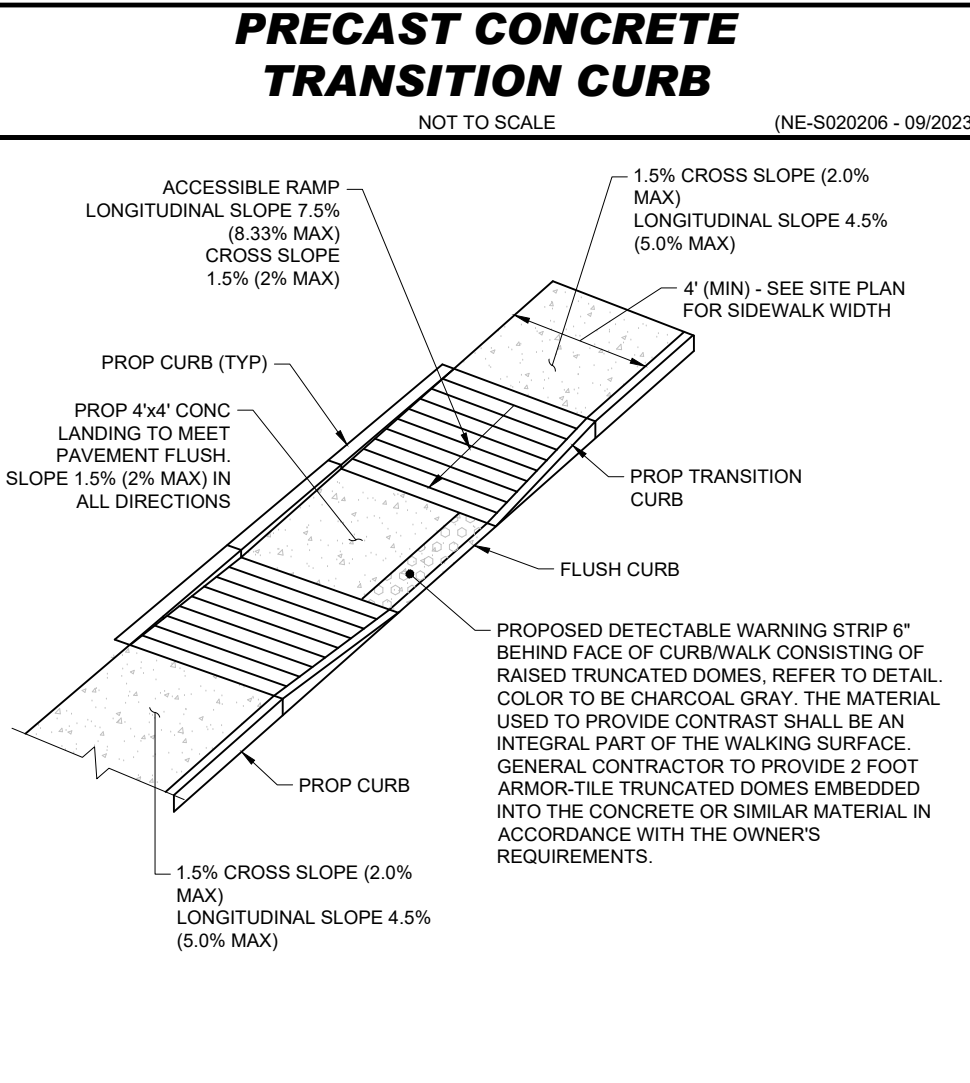
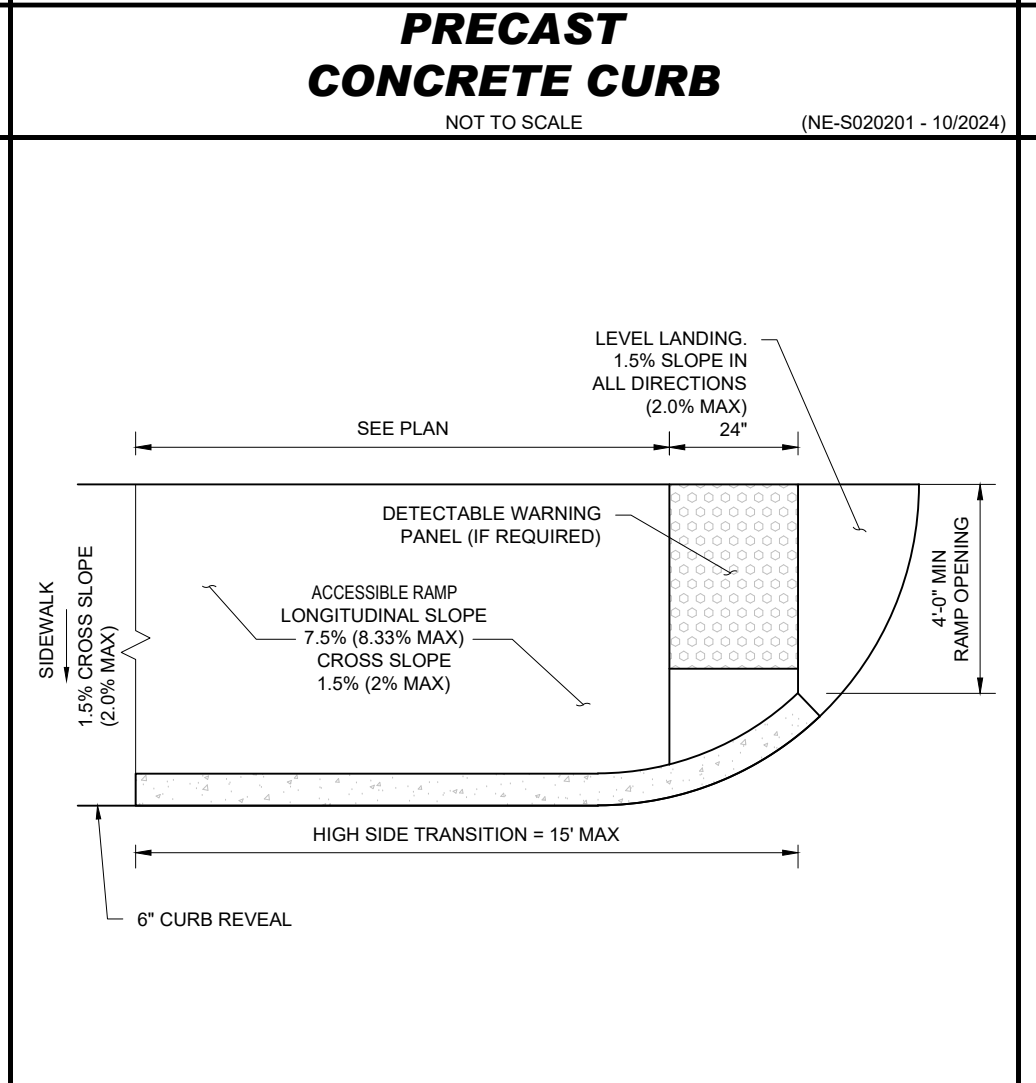
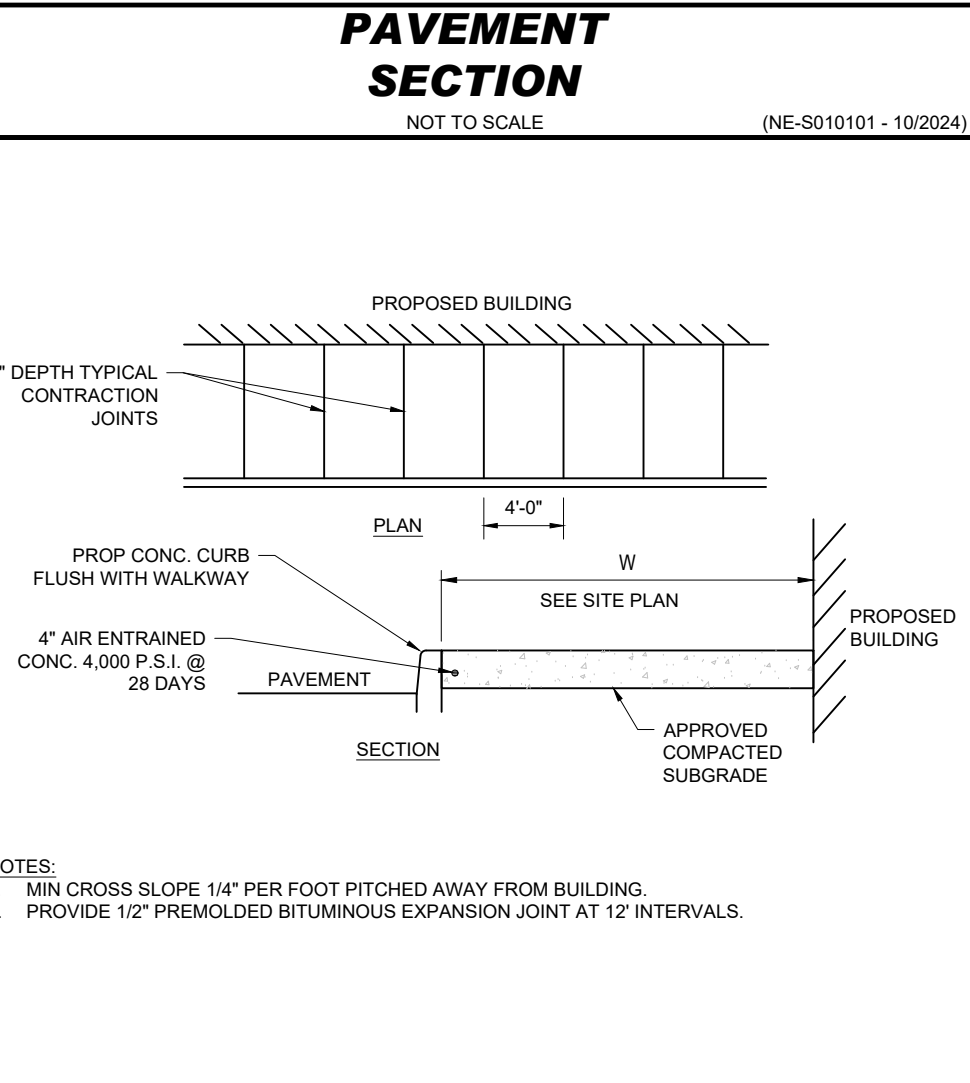
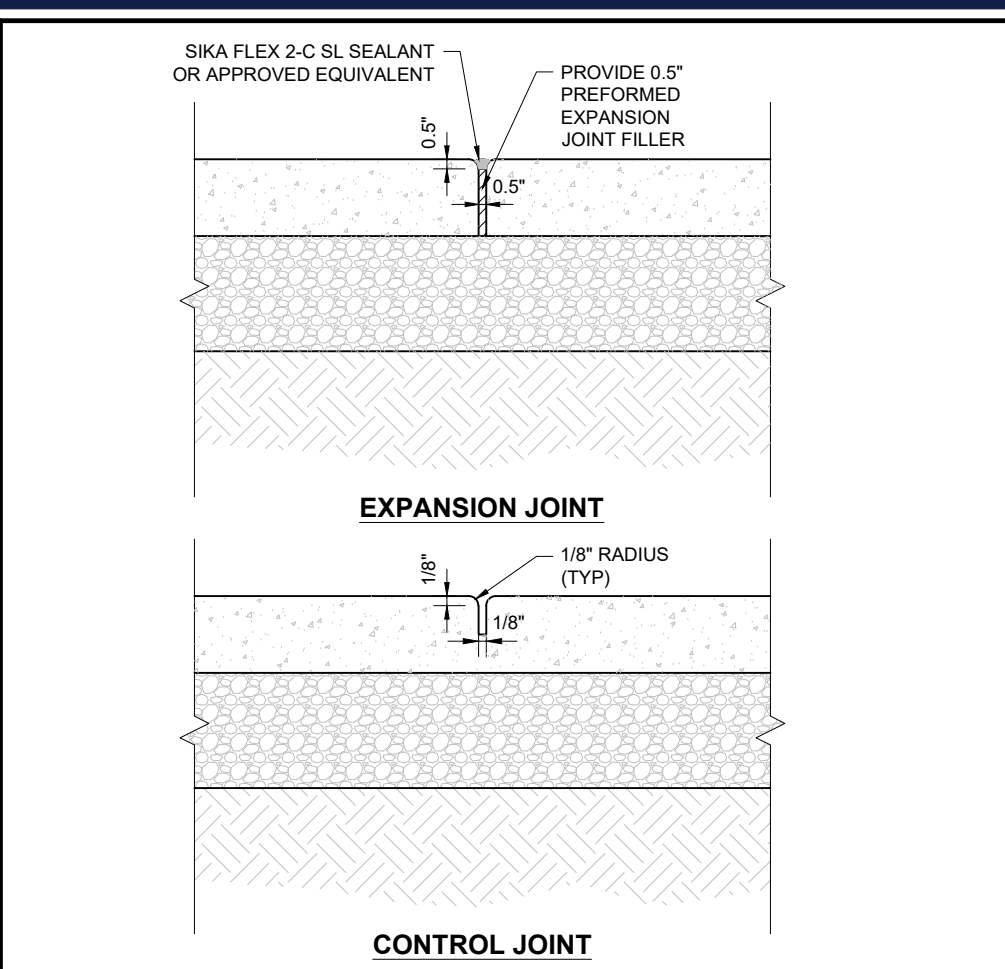
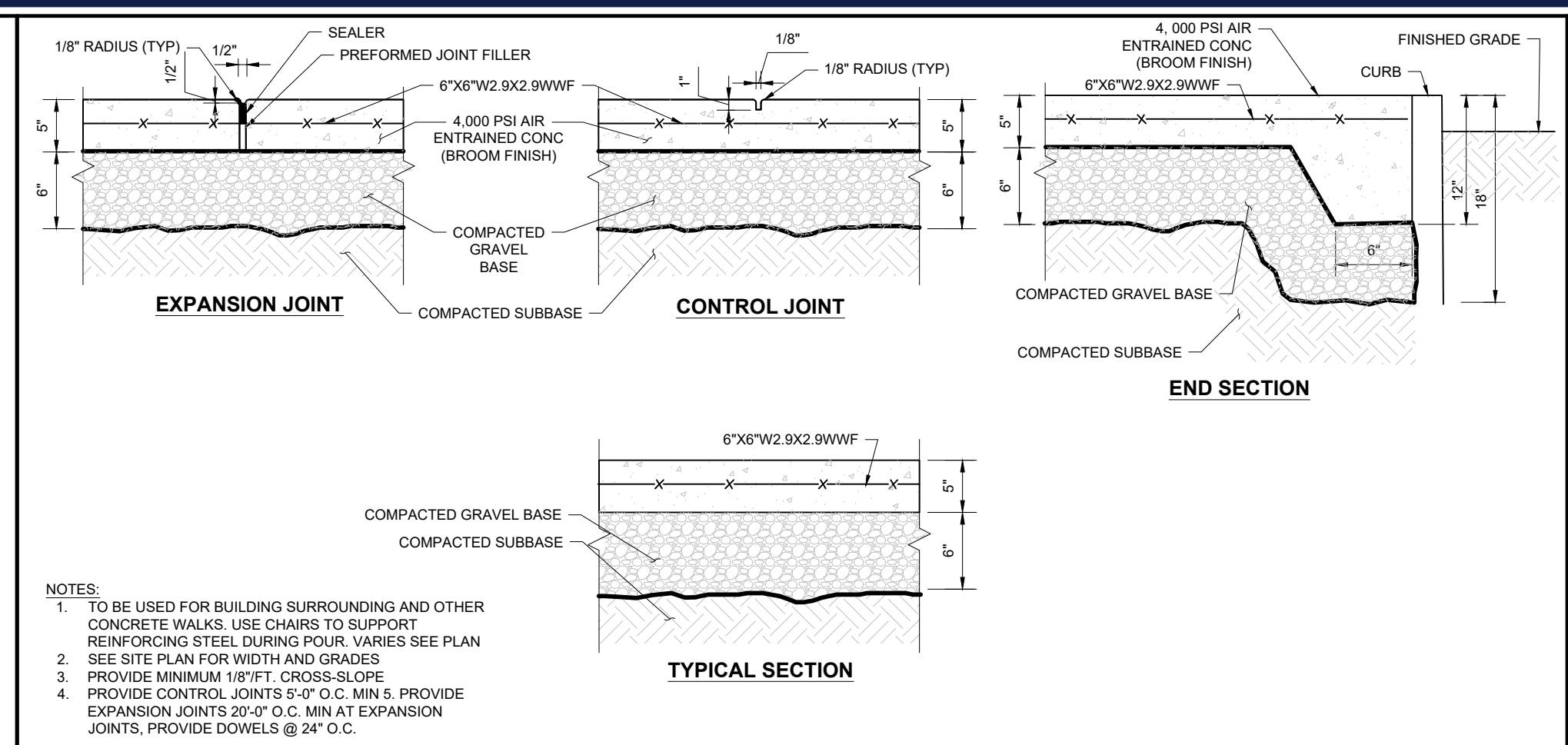
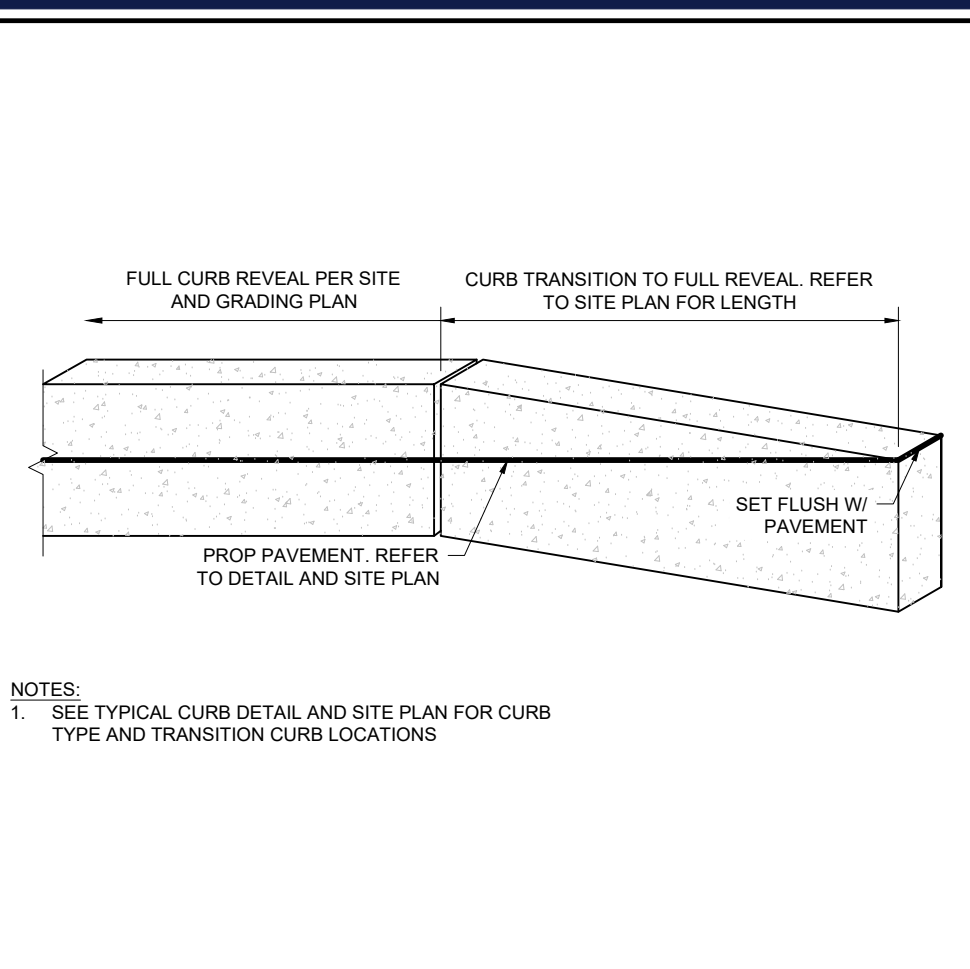
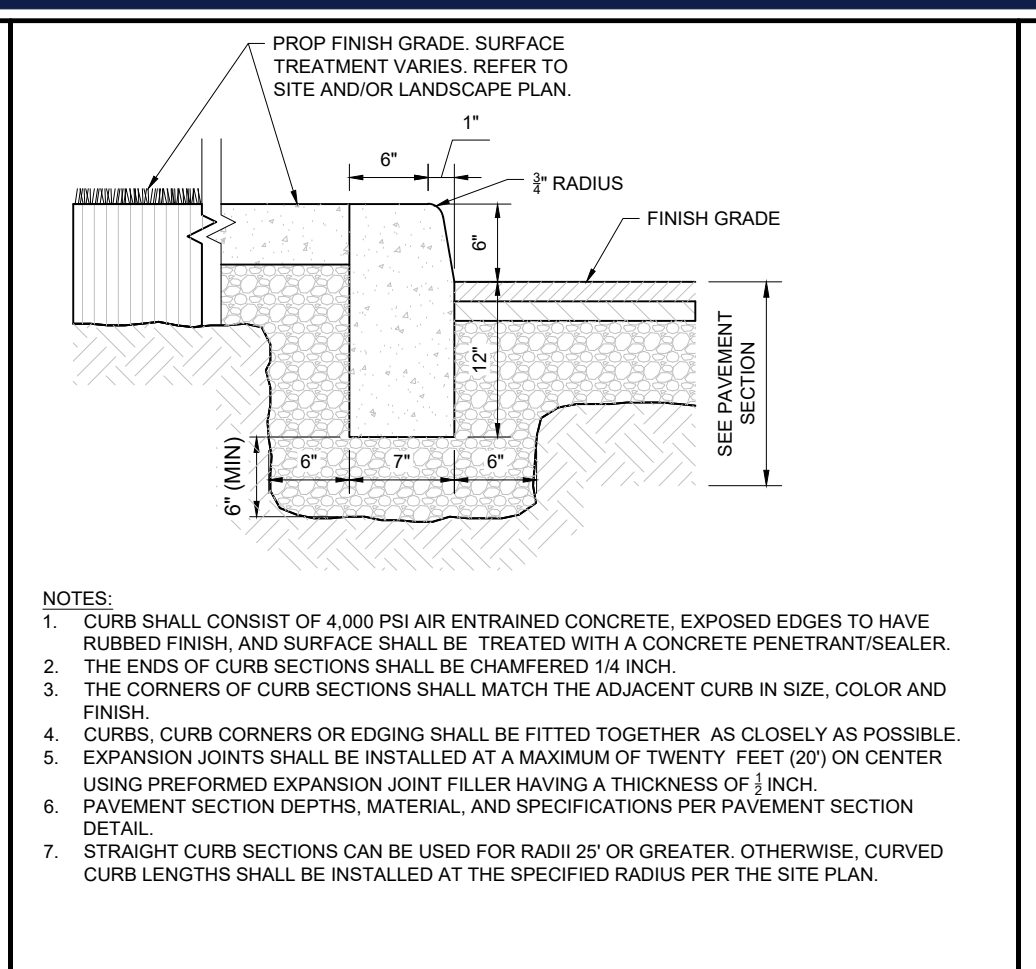
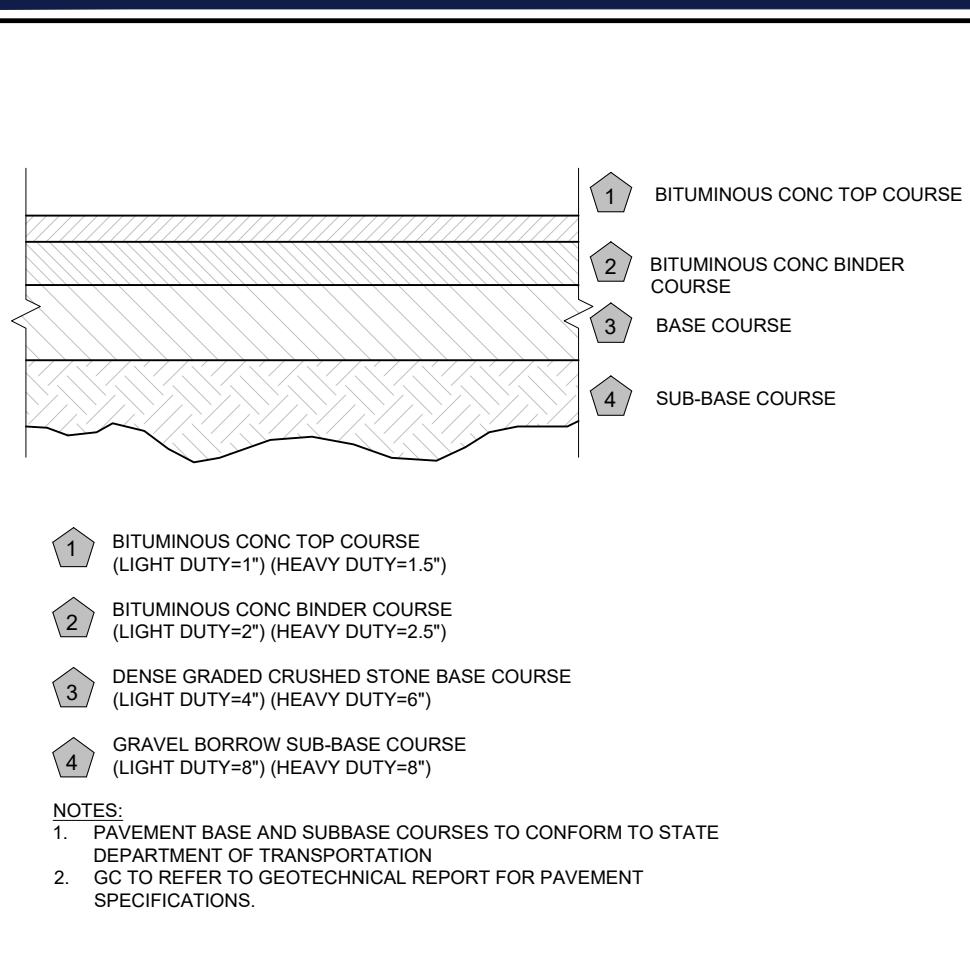
SITE DEVELOPMENT PLANS
FOR
Park Silver DEVELOPMENT
PROPOSED DEVELOPMENT
MAP: 31 | BLK: 15 | LOT: 2
277 PROVIDENCE STREET
WORCESTER COUNTY
WORCESTER, MASSACHUSETTS

BOHLER
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MAINE LICENSE No. 12553

EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
SHEET NUMBER:
C-802
ORG. DATE - 11/14/2024

BOHLER ENGINEERING, INC. PROJECT: 2024-MAA240174.00-2A (LAYOUT) C-802 EROSION CONTROL NOTES AND DETAILS



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FOR

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PROPOSED DEVELOPMENT

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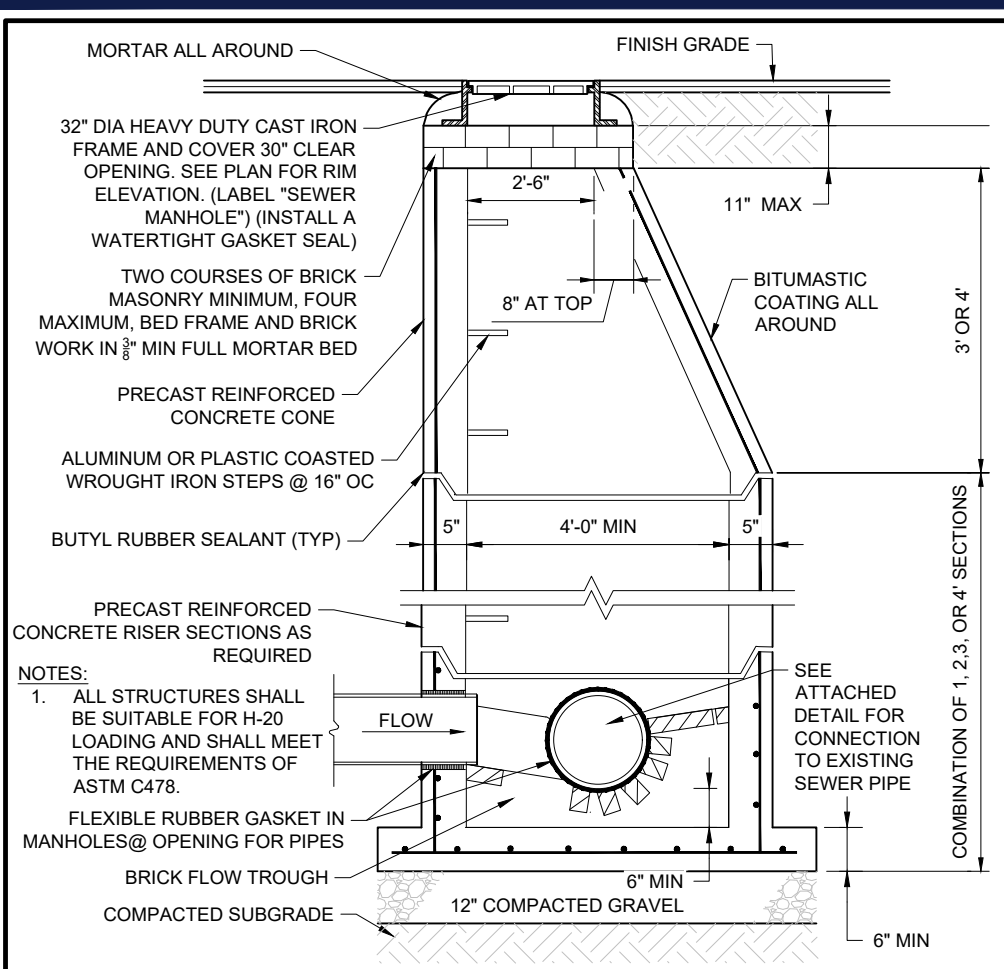
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CONSTRUCTION DETAILS

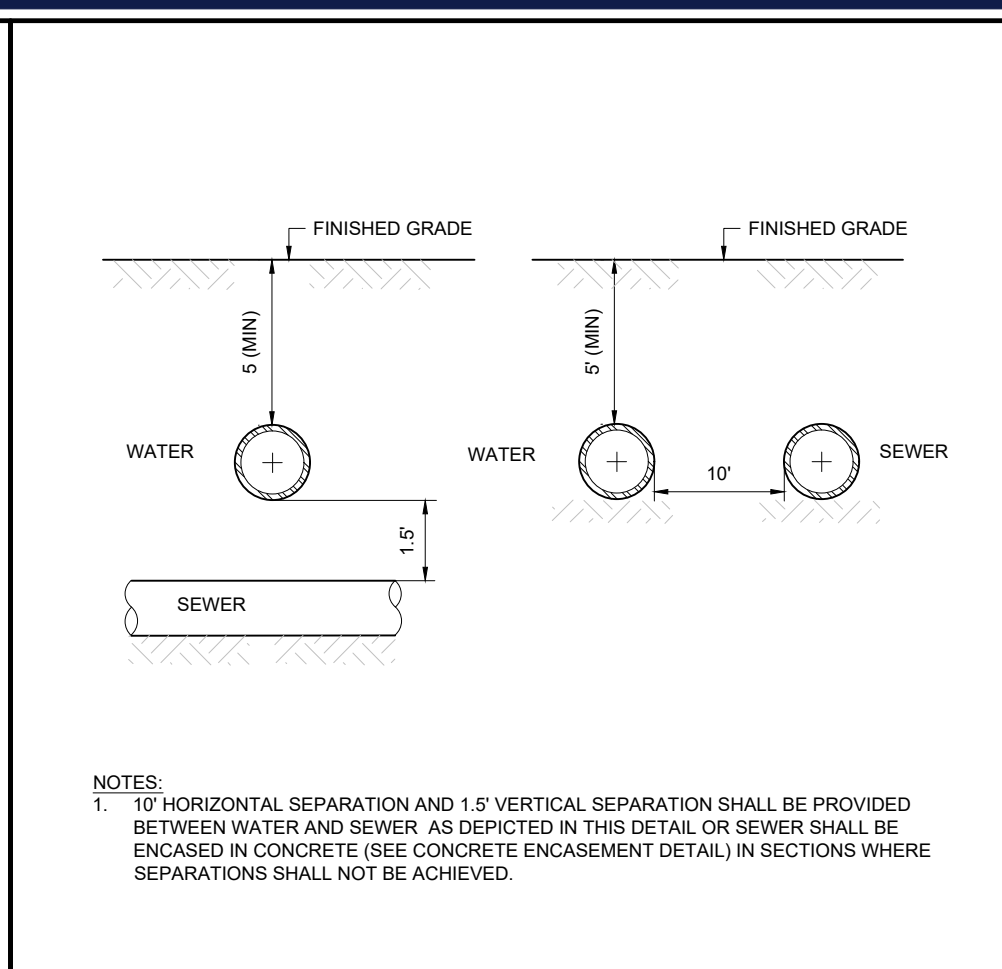
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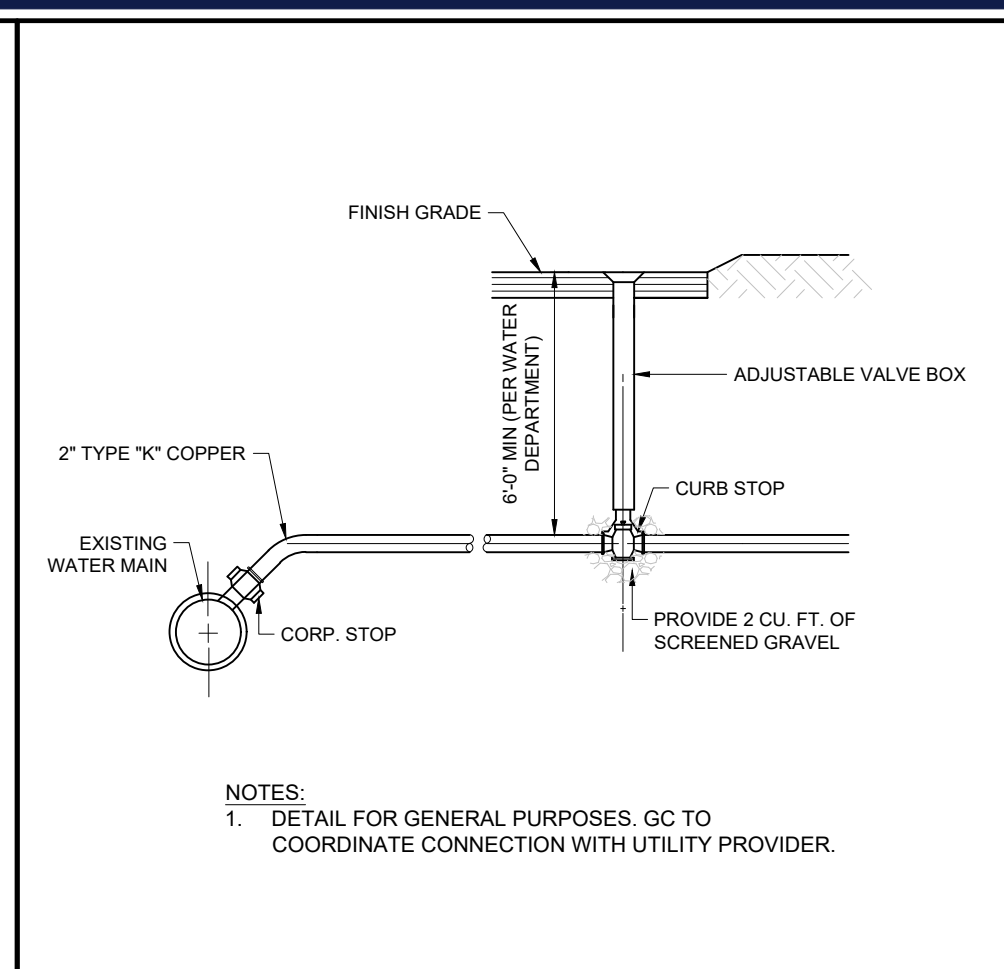
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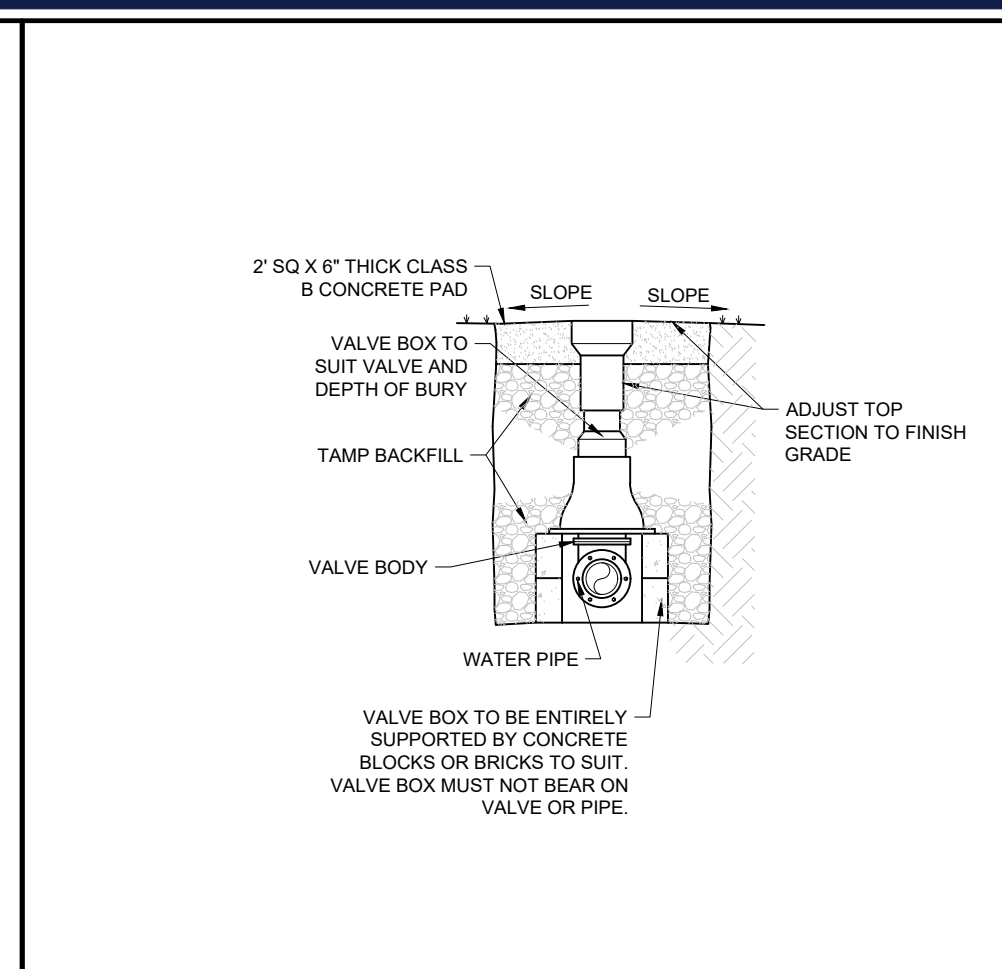
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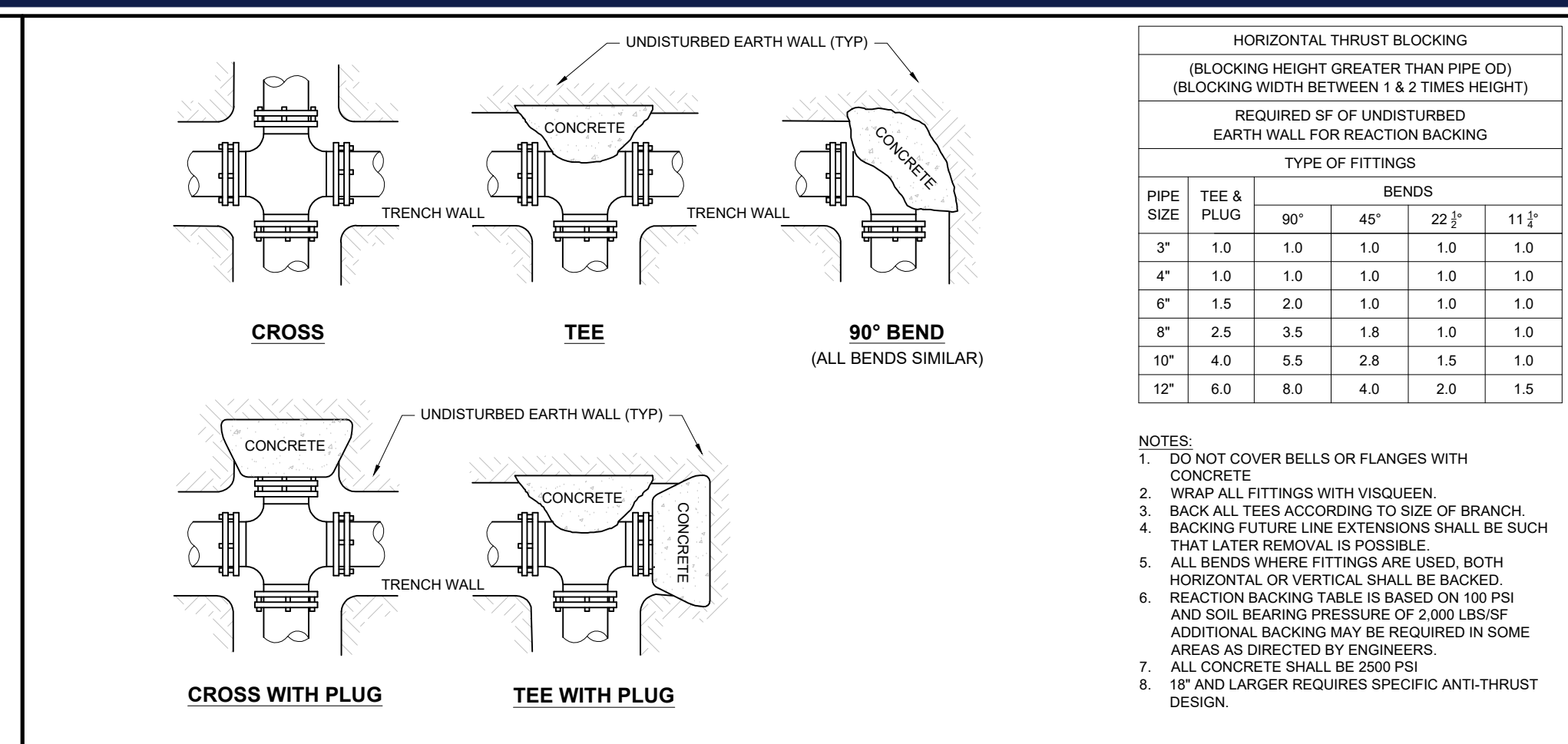
WATER AND SEWER UTILITY CROSSING
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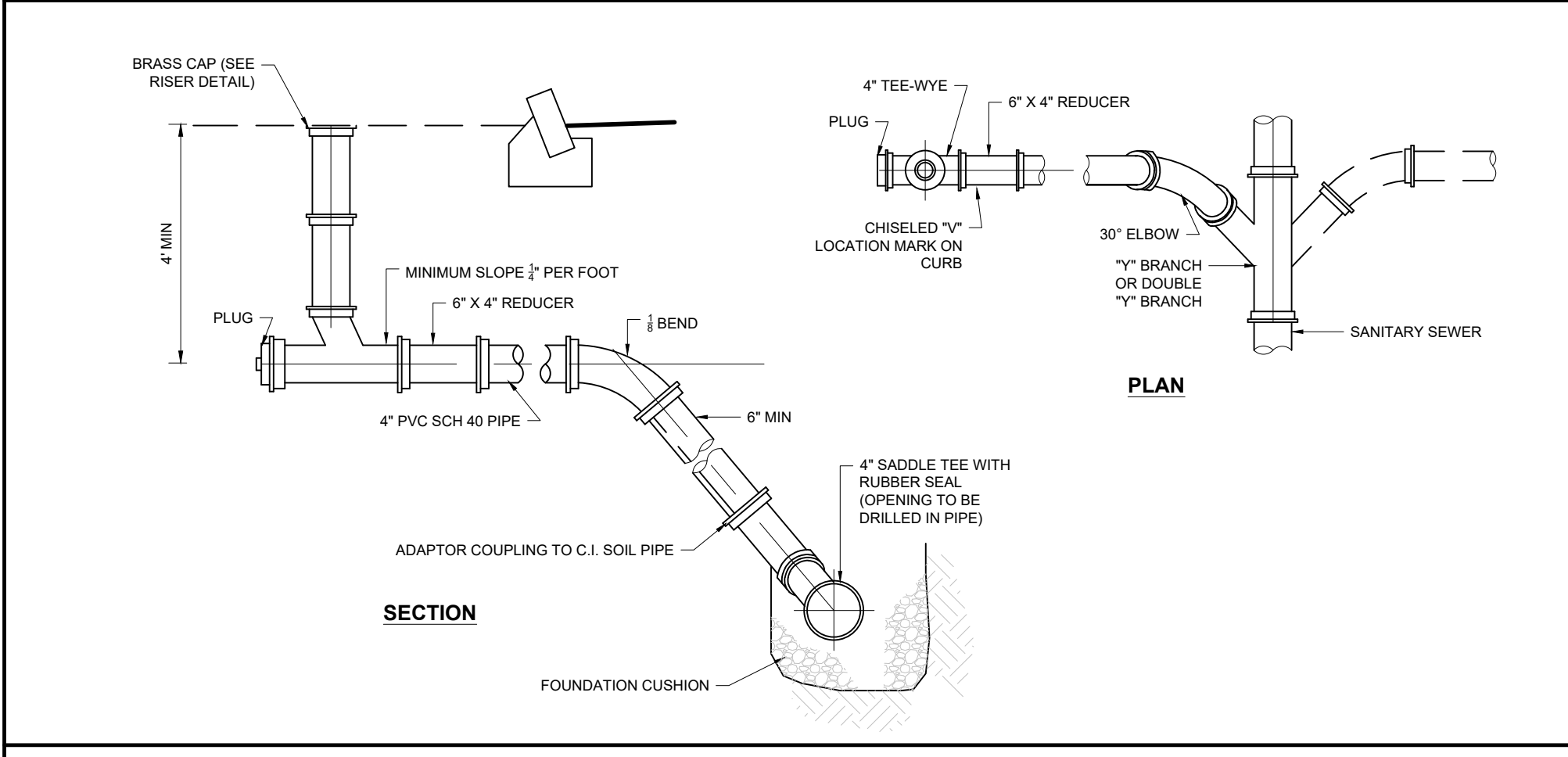
TYPE K COPPER WATER SERVICE CONNECTION
NOT TO SCALE (NE-U030402 - 09/2023)



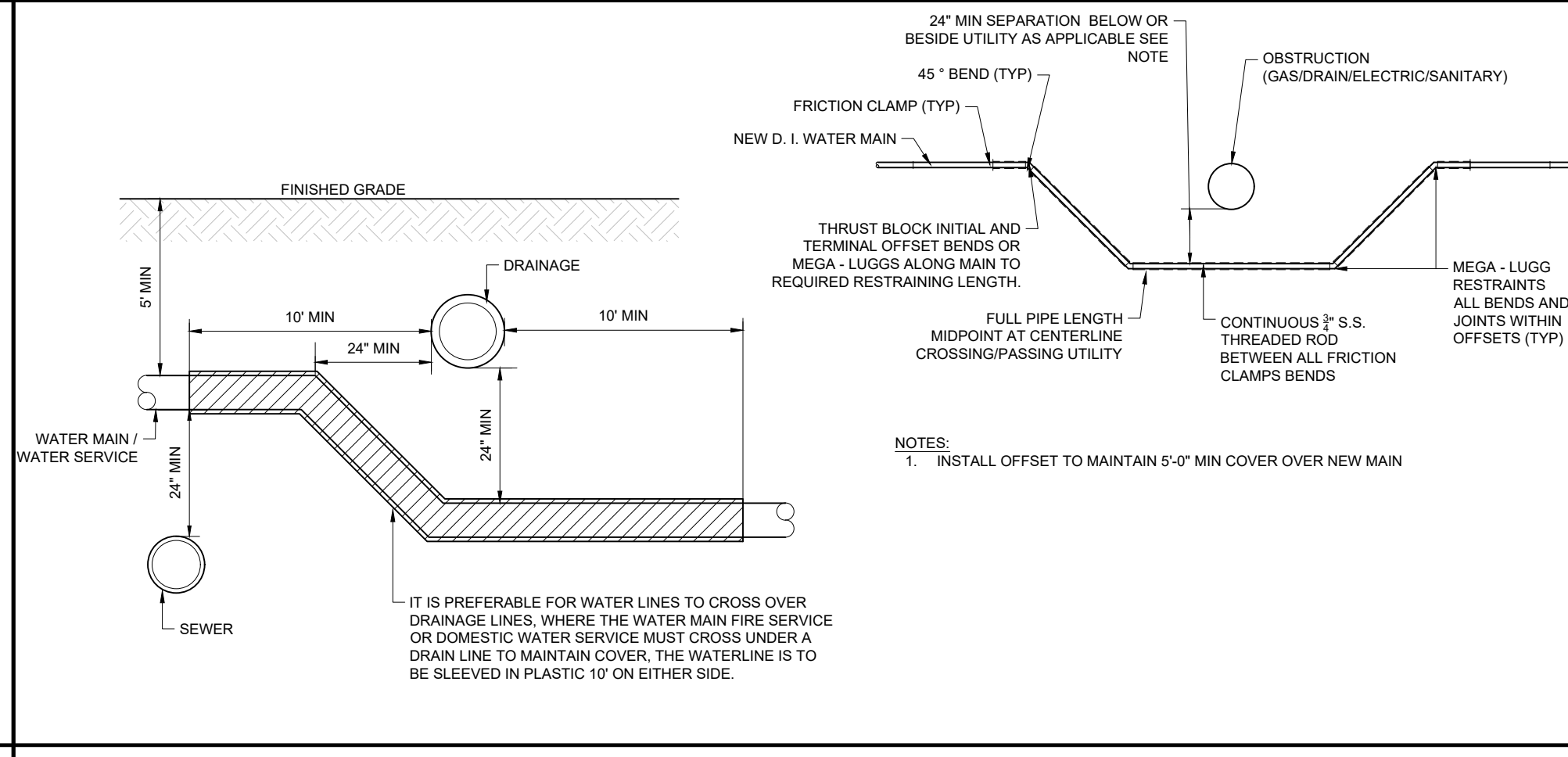
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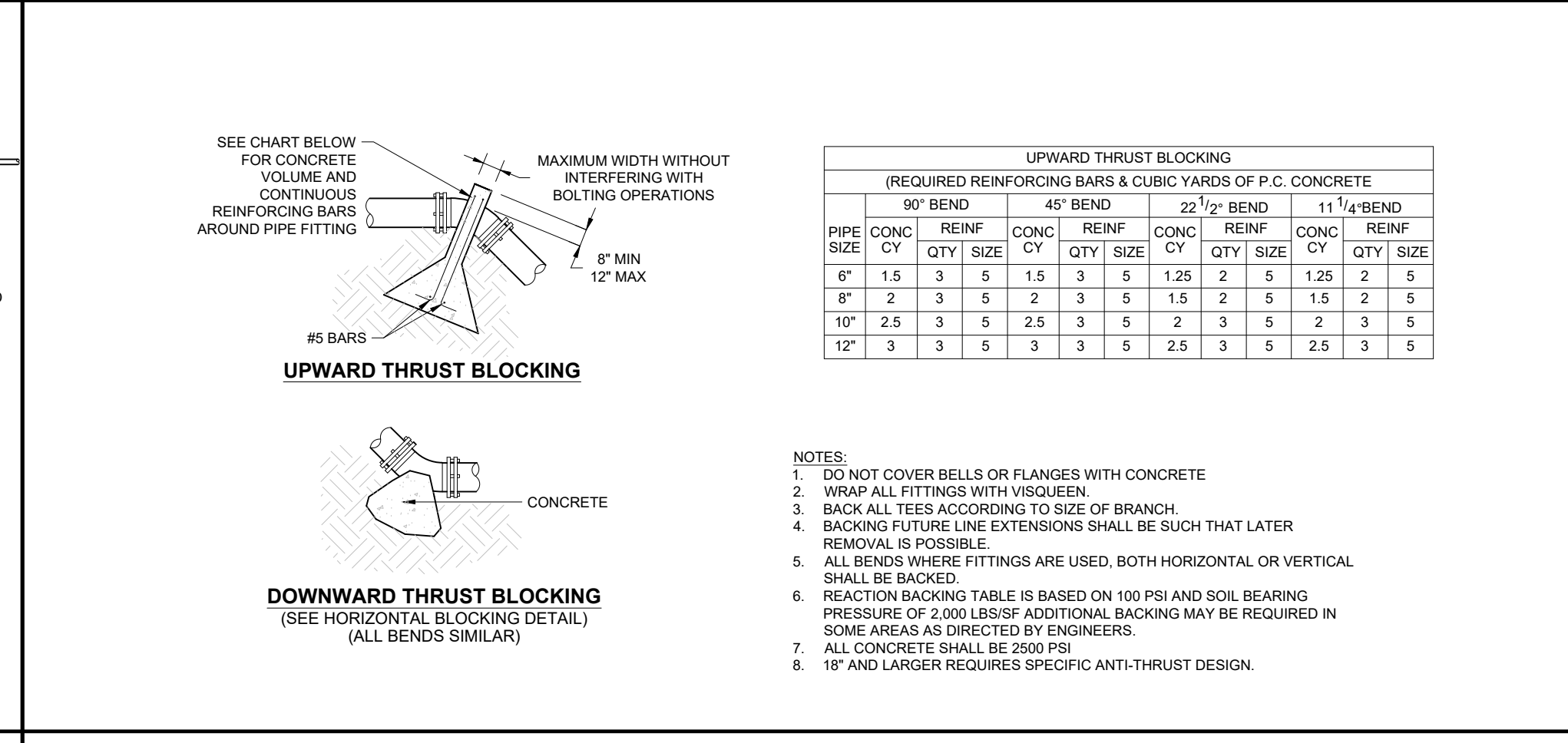
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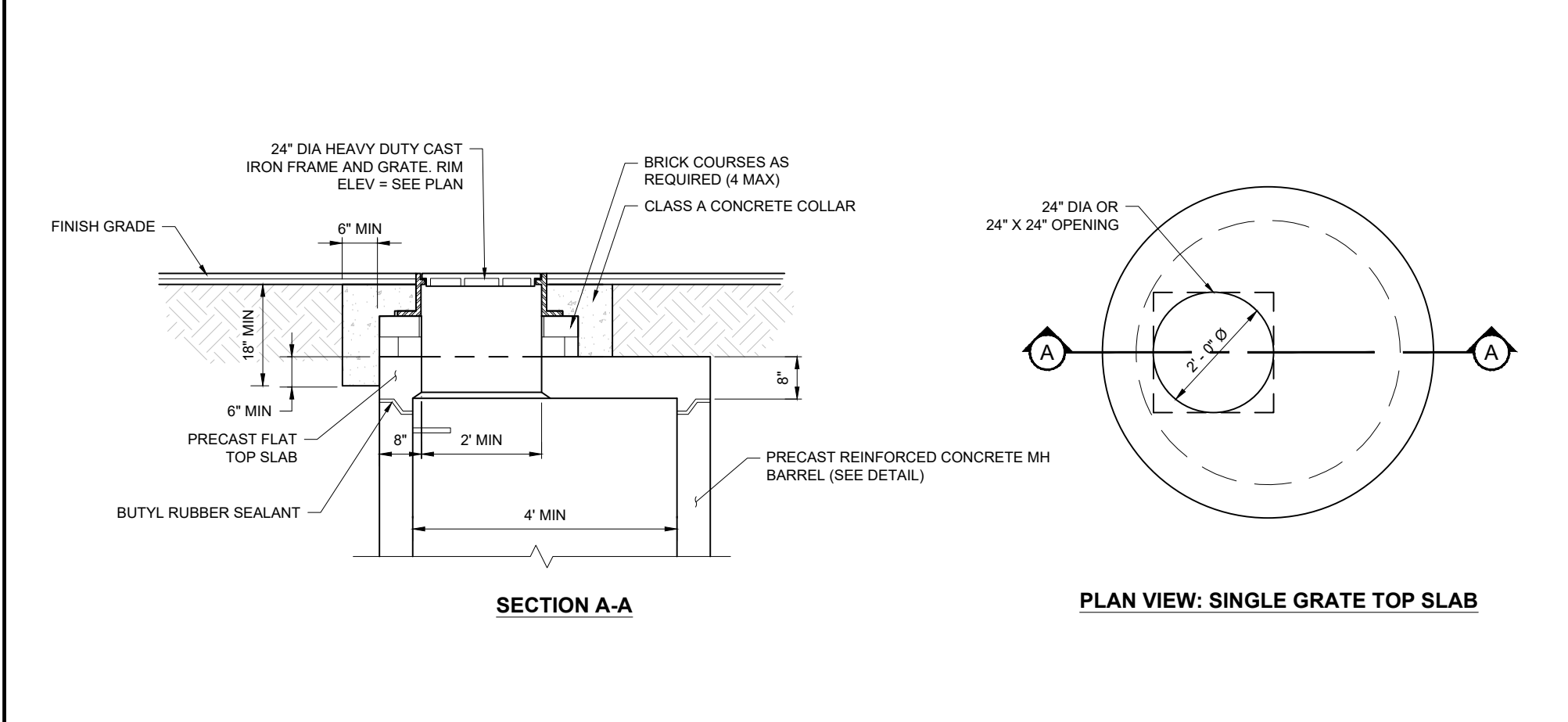
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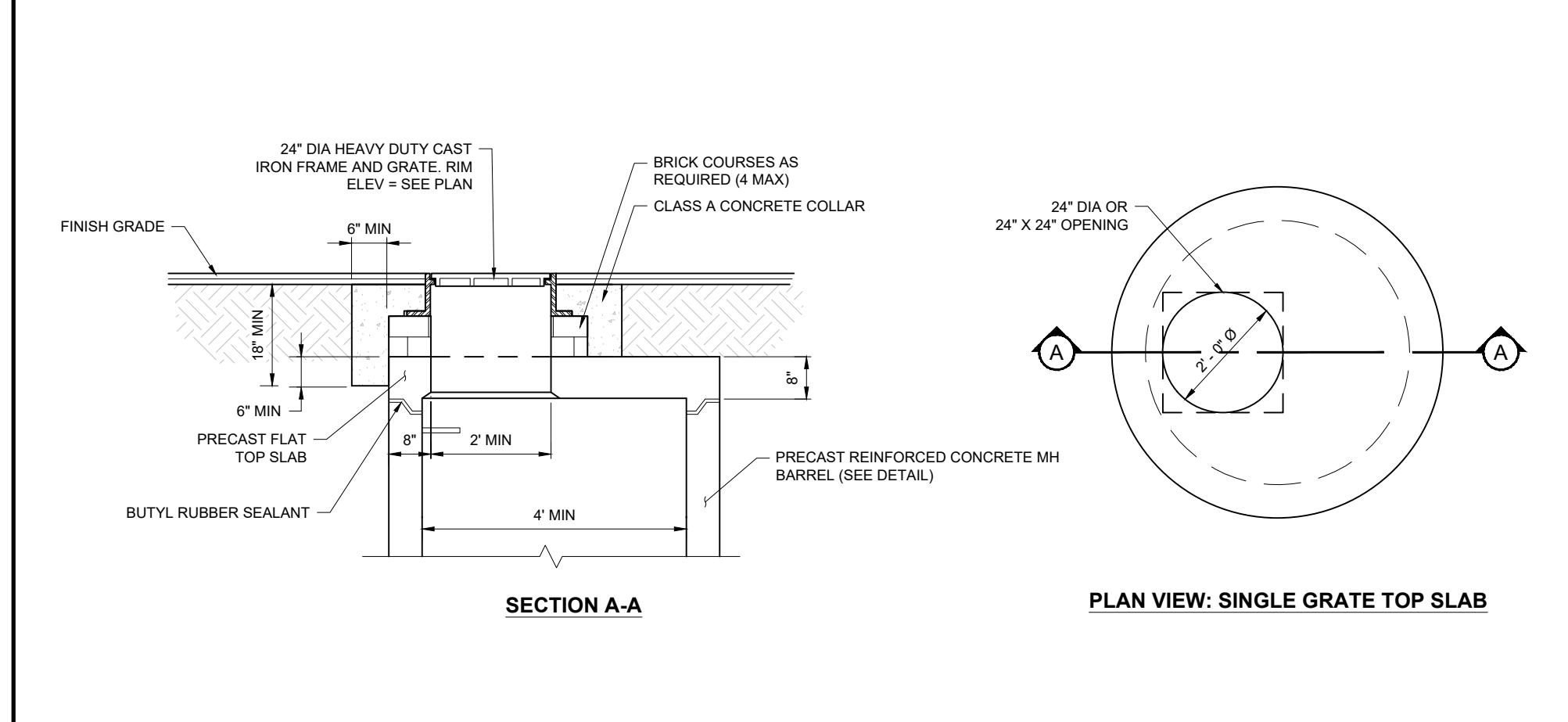
WATER SERVICE OR MAIN AT UTILITY CROSSING
NOT TO SCALE (NE-U050102 - 09/2023)



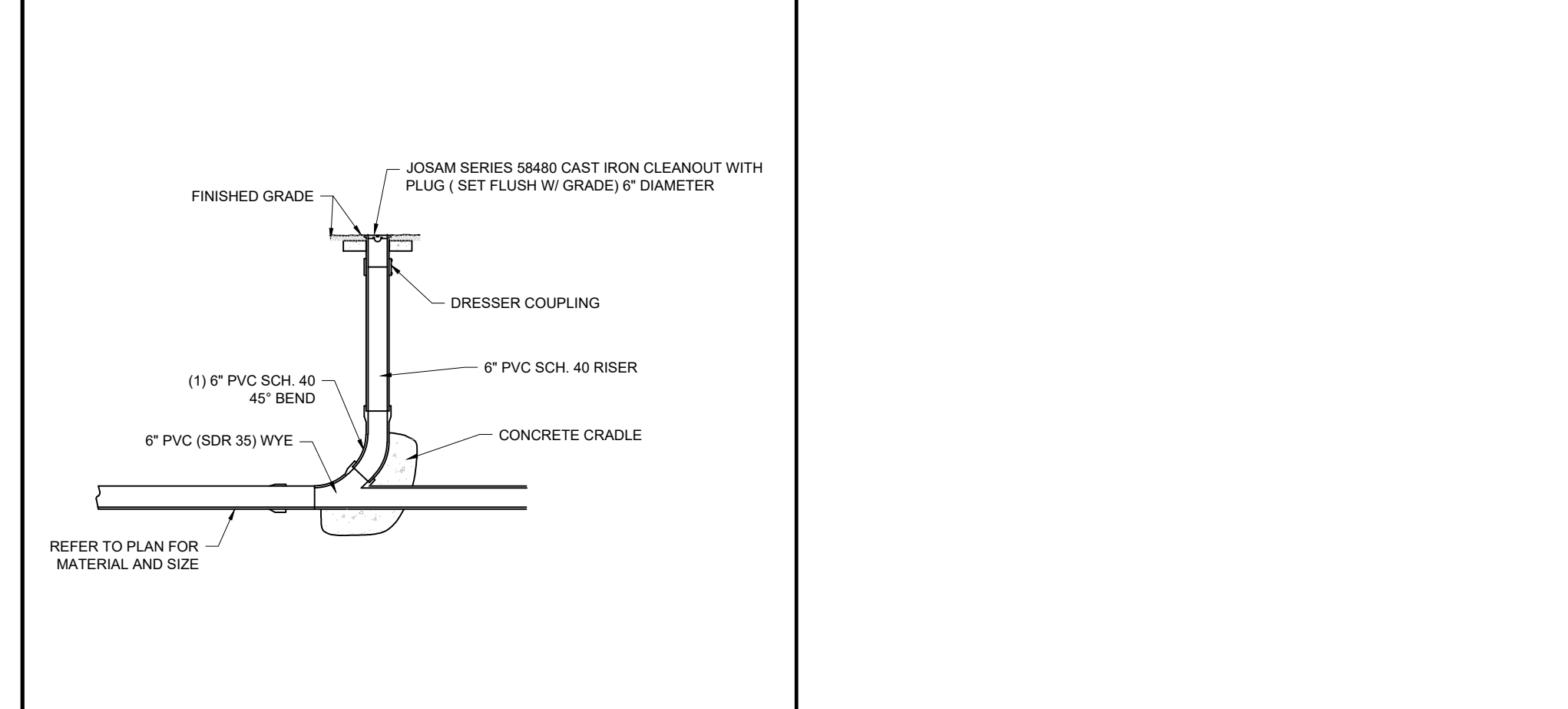
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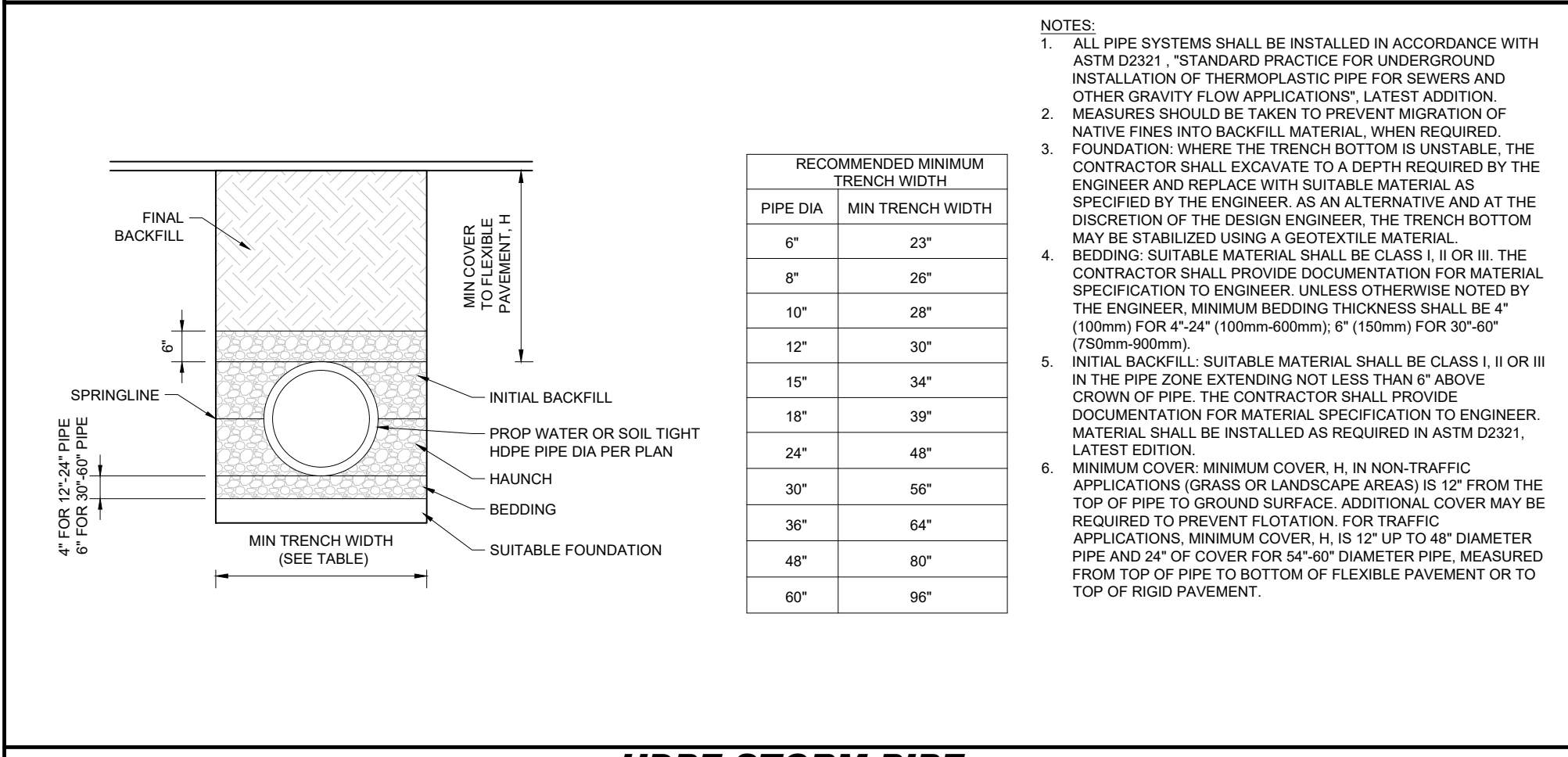
PRECAST FLAT SLAB TOP FOR SHALLOW MANHOLE
NOT TO SCALE (NE-U010107 - 11/2024)



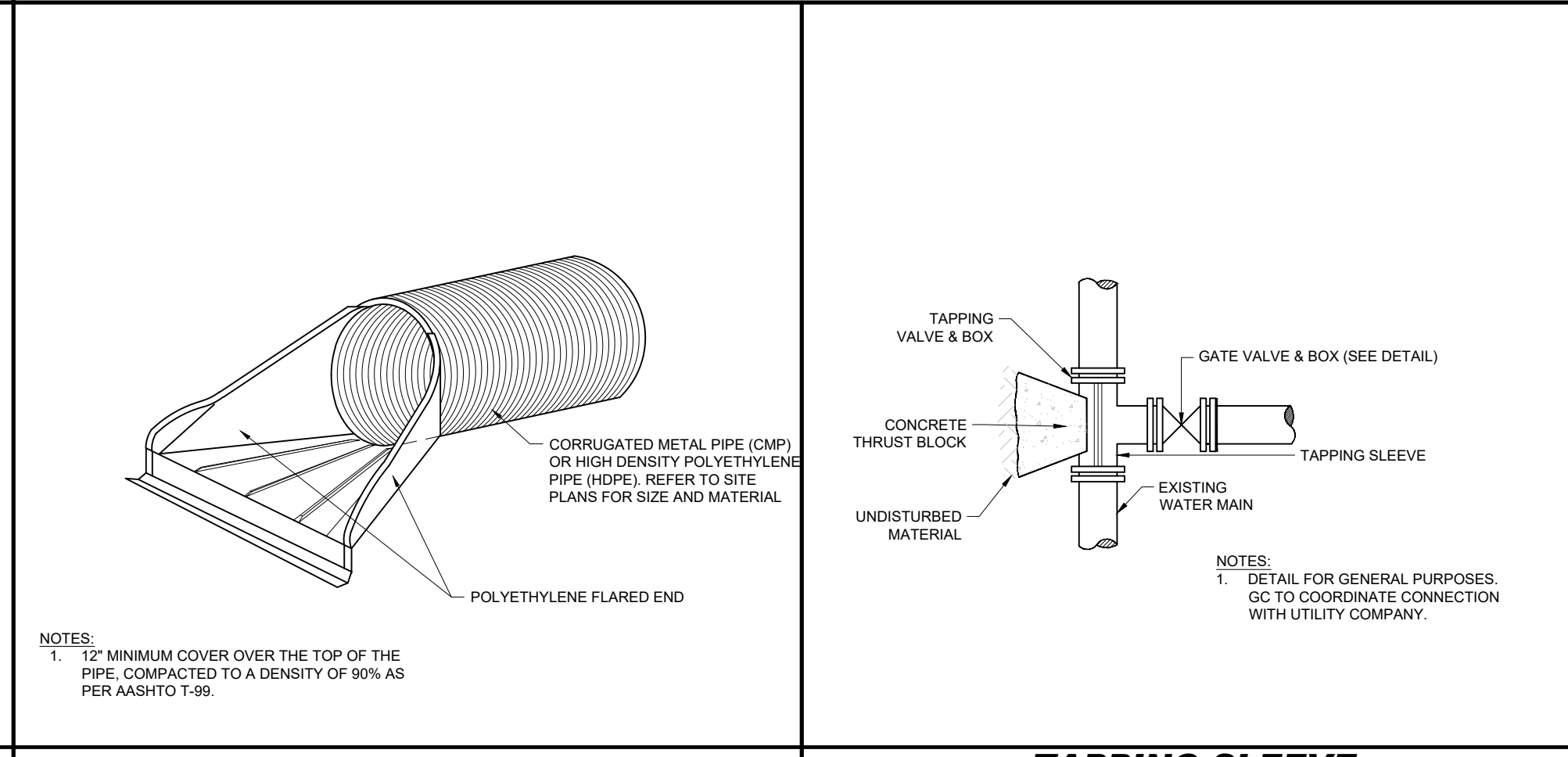
PRECAST FLAT SLAB TOP FOR SHALLOW MANHOLE
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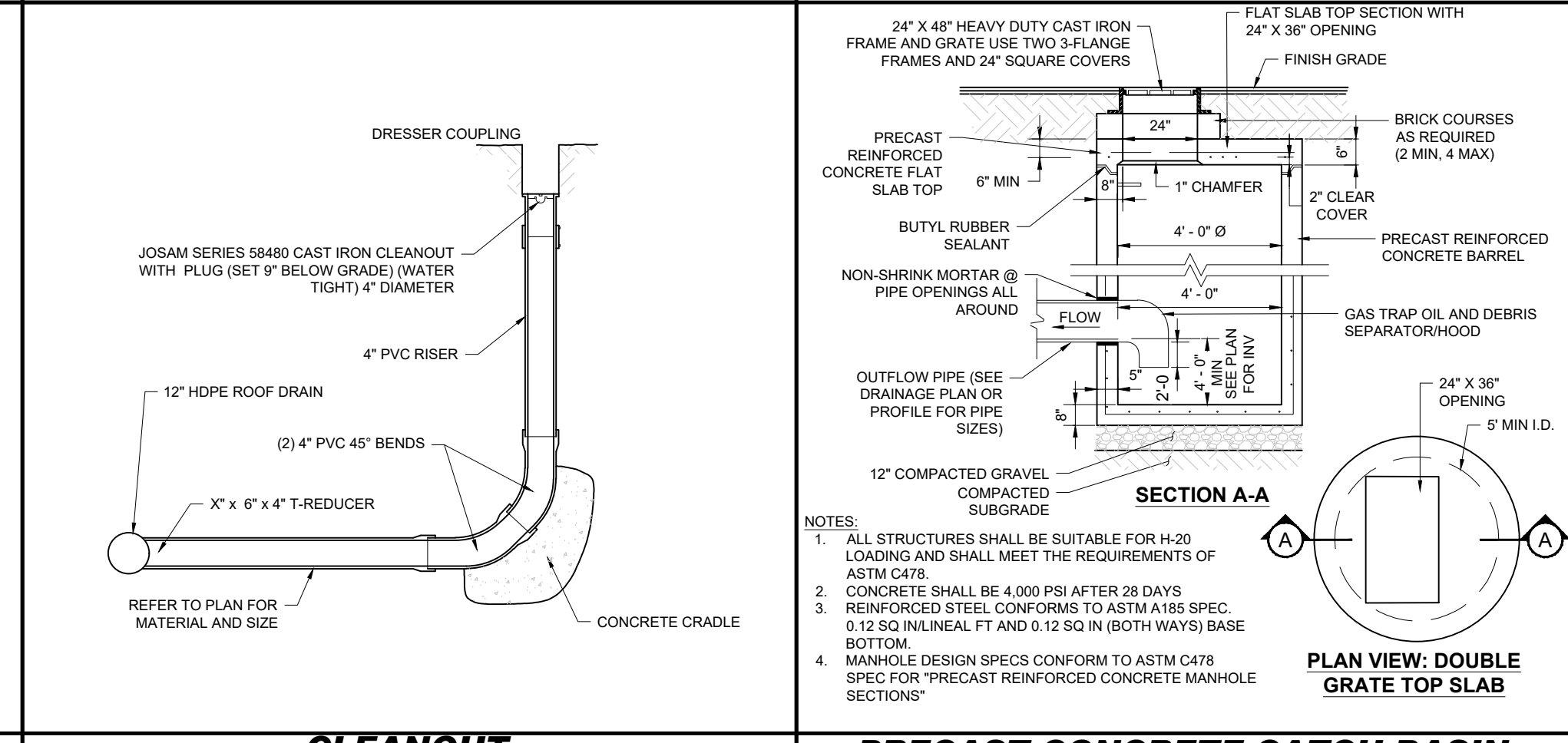
CLEANOUT (IN-LINE)
NOT TO SCALE (NE-U010302 - 11/2024)



HDPE STORM PIPE TRENCH
NOT TO SCALE (NE-U019812 - 11/2024)



POLYETHYLENE FLARED END SECTION
NOT TO SCALE (NE-U010401 - 09/2023)



PRECAST CONCRETE CATCH BASIN WITH DOUBLE GRATE
NOT TO SCALE (NE-U010202 - 11/2024)

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DATE: 11/14/2024
CAD ID: P-CIVL-CNDS

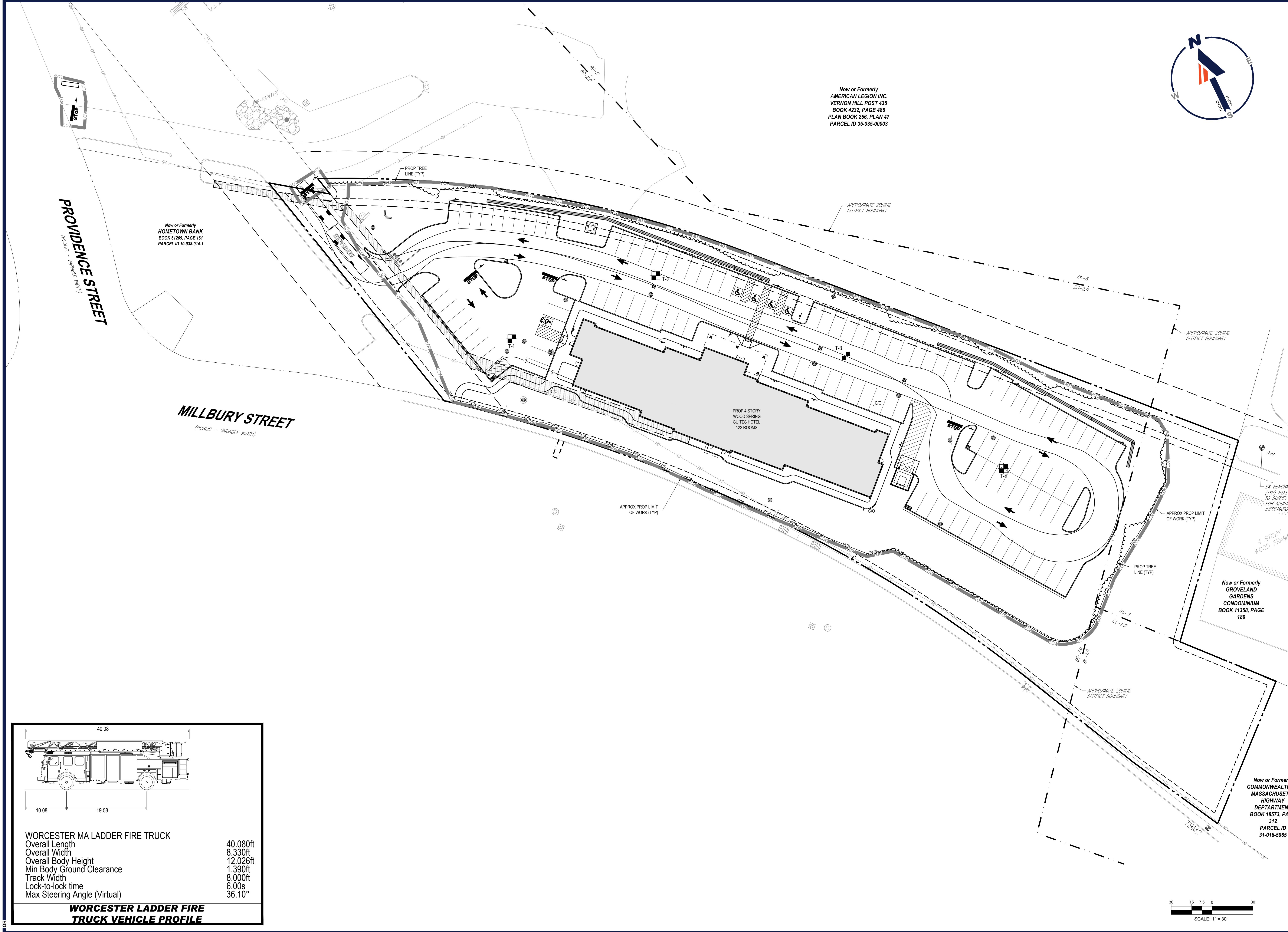
SITE DEVELOPMENT PLANS
FOR
Park Silver DEVELOPMENT
PROPOSED DEVELOPMENT
MAP: 31 | BLK: 15 | LOT: 2
277 PROVIDENCE STREET
WORCESTER COUNTY
WORCESTER, MASSACHUSETTS

BOHLER
352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

J.A. KUCICH
JOHN A. KUCICH
PROFESSIONAL ENGINEER
MASS. REG. NO. 15476
NEW HAMPSHIRE REG. NO. 9817
RHODE ISLAND REG. NO. 9816
MAINE LICENSE NO. 12553

SHEET TITLE:
CONSTRUCTION DETAILS
SHEET NUMBER:
C-902
ORG. DATE - 11/14/2024

I:\BOHLER\NET\SHARES\BMA\PROJECTS\2024\MAA240174-00-2A\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\BSP-CIVL-CNDS-MAA240174-00-2A-LAYOUT-C-902.BETL



Now or Formerly
AMERICAN LEGION INC.
 VERNON HILL POST 435
 BOOK 4232, PAGE 486
 PLAN BOOK 256, PLAN 47
 PARCEL ID 35-035-00003

Now or Formerly
HOMETOWN BANK
 BOOK 61269, PAGE 161
 PARCEL ID 10-038-014-1



PROVIDENCE STREET
 (PUBLIC - VARIABLE WIDTH)

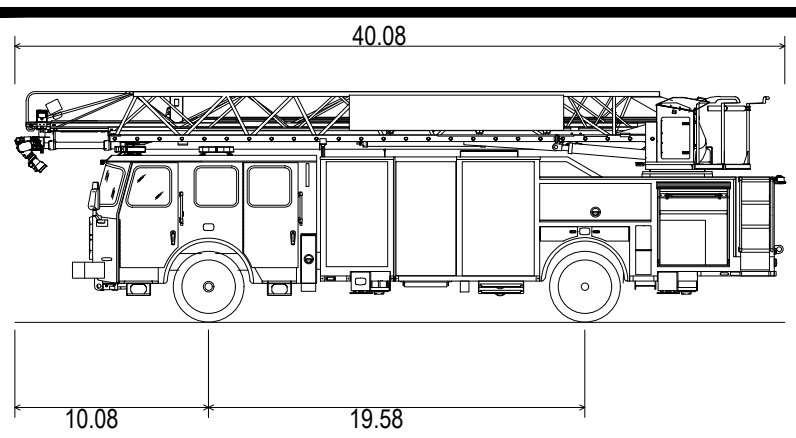
MILLBURY STREET
 (PUBLIC - VARIABLE WIDTH)

PROP 4 STORY
 WOOD SPRING
 SUITES HOTEL
 122 ROOMS

Now or Formerly
**GROVELAND
 GARDENS**
 CONDOMINIUM
 BOOK 11358, PAGE
 189

4 STORY
 WOOD FRAME

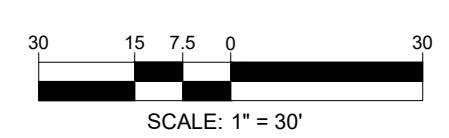
EX BENCHMARK
 (TYP) REFER
 TO SURVEY
 FOR ADDITIONAL
 INFORMATION



WORCESTER MA LADDER FIRE TRUCK

Overall Length	40.080ft
Overall Width	8.330ft
Overall Body Height	12.026ft
Min Body Ground Clearance	1.390ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	36.10°

**WORCESTER LADDER FIRE
 TRUCK VEHICLE PROFILE**



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: MAA240174-00-2A
 DRAWN BY: OCR/CJP
 CHECKED BY: MMA
 DATE: 11/14/2024
 CAD ID: P-CIVL-SITE

**SITE DEVELOPMENT
 PLANS**

FOR

Park Silver
 DEVELOPMENT

PROPOSED
 DEVELOPMENT

MAP: 31 | BLK: 15 | LOT: 2
 277 PROVIDENCE STREET
 WORCESTER COUNTY
 WORCESTER, MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
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 MASSACHUSETTS REG. NO. 1530
 NEW HAMPSHIRE REG. NO. 15476
 CONNECTICUT REG. NO. 9177
 RHODE ISLAND REG. NO. 0616
 MAINE LICENSE NO. 12553

SHEET TITLE:
**WORCESTER
 LADDER FIRE
 TRUCK TURN
 EXHIBIT**

SHEET NUMBER:
2 of 2

ORG. DATE - 11/14/2024

BOHLER ENGINEERING, INC. PROJECT: 2024-MAA240174-00-2A-11-14-2024-JAVOUT: LADDER TRUCK TURN



REVISIONS

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PROJECT No.: MAA240174-00-0A
 DRAWN BY: OCR/CJP
 CHECKED BY: MMA
 DATE: 11/14/2024
 CAD ID: P-CIVL-LS-CP

SITE DEVELOPMENT PLANS

FOR

Park Silver
 DEVELOPMENT

PROPOSED DEVELOPMENT

MAP: 31 | BLK: 15 | LOT: 2
 277 PROVIDENCE STREET
 WORCESTER COUNTY
 WORCESTER, MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900

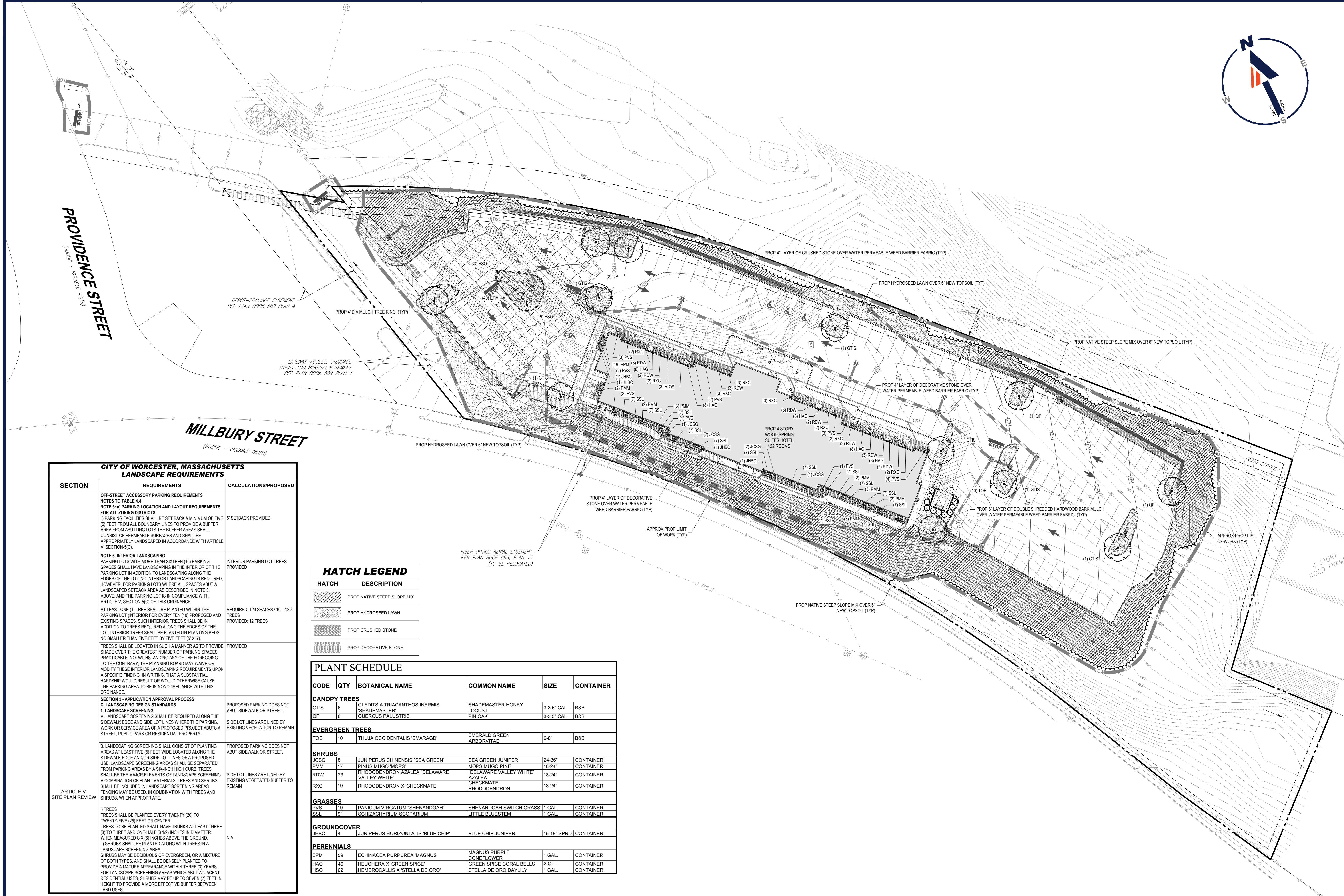
www.BohlerEngineering.com



SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-101

ORG. DATE - 11/14/2024



PROVIDENCE STREET
 (PUBLIC - VARIABLE WIDTH)

MILLBURY STREET
 (PUBLIC - VARIABLE WIDTH)

**CITY OF WORCESTER, MASSACHUSETTS
 LANDSCAPE REQUIREMENTS**

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
OFF-STREET ACCESSORY PARKING REQUIREMENTS NOTES TO TABLE 4.4 NOTE 5-a) PARKING LOCATION AND LAYOUT REQUIREMENTS FOR ALL ZONING DISTRICTS i) PARKING FACILITIES SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM ALL BOUNDARY LINES TO PROVIDE A BUFFER AREA FROM ADJACENT LOTS. THE BUFFER AREAS SHALL CONSIST OF PERMEABLE SURFACES AND SHALL BE APPROPRIATELY LANDSCAPED IN ACCORDANCE WITH ARTICLE V, SECTION 5(C). NOTE 6. INTERIOR LANDSCAPING PARKING LOTS WITH MORE THAN SIXTEEN (16) PARKING SPACES SHALL HAVE LANDSCAPING IN THE INTERIOR OF THE PARKING LOT IN ADDITION TO LANDSCAPING ALONG THE EDGES OF THE LOT. NO INTERIOR LANDSCAPING IS REQUIRED, HOWEVER, FOR PARKING LOTS WHERE ALL SPACES ABOUT A LANDSCAPED SETBACK AREA AS DESCRIBED IN NOTE 5, ABOVE, AND THE PARKING LOT IS IN COMPLIANCE WITH ARTICLE V, SECTION 5(C) OF THIS ORDINANCE. AT LEAST ONE (1) TREE SHALL BE PLANTED WITHIN THE PARKING LOT (INTERIOR) FOR EVERY TEN (10) PROPOSED AND EXISTING SPACES. SUCH INTERIOR TREES SHALL BE IN ADDITION TO TREES REQUIRED ALONG THE EDGES OF THE LOT. INTERIOR TREES SHALL BE PLANTED IN PLANTING BEDS NO SMALLER THAN FIVE FEET BY FIVE FEET (5' X 5'). TREES SHALL BE LOCATED IN SUCH A MANNER AS TO PROVIDE SHADE OVER THE GREATEST NUMBER OF PARKING SPACES PRACTICABLE. NOTWITHSTANDING ANY OF THE FOREGOING TO THE CONTRARY, THE PLANNING BOARD MAY WAIVE OR MODIFY THESE INTERIOR LANDSCAPING REQUIREMENTS UPON A SPECIFIC FINDING, IN WRITING, THAT A SUBSTANTIAL HARDSHIP WOULD RESULT OR WOULD OTHERWISE CAUSE THE PARKING AREA TO BE IN NONCOMPLIANCE WITH THIS ORDINANCE.	5' SETBACK PROVIDED	
SECTION 5 - APPLICATION APPROVAL PROCESS C. LANDSCAPING DESIGN STANDARDS 1. LANDSCAPE SCREENING A. LANDSCAPE SCREENING SHALL BE REQUIRED ALONG THE SIDEWALK EDGE AND SIDE LOT LINES WHERE THE PARKING, WORK OR SERVICE AREA OF A PROPOSED PROJECT ADJUTS A STREET, PUBLIC PARK OR RESIDENTIAL PROPERTY. B. LANDSCAPING SCREENING SHALL CONSIST OF PLANTING AREAS AT LEAST FIVE (5) FEET WIDE LOCATED ALONG THE SIDEWALK EDGE AND/OR SIDE LOT LINES OF A PROPOSED USE. LANDSCAPE SCREENING AREAS SHALL BE SEPARATED FROM PARKING AREAS BY A SIX-INCH HIGH CURB. TREES SHALL BE THE MAJOR ELEMENTS OF LANDSCAPE SCREENING. A COMBINATION OF PLANT MATERIALS, TREES AND SHRUBS SHALL BE INCLUDED IN LANDSCAPE SCREENING AREAS. FENCING MAY BE USED, IN COMBINATION WITH TREES AND SHRUBS, WHEN APPROPRIATE. i) TREES TREES SHALL BE PLANTED EVERY TWENTY (20) TO TWENTY-FIVE (25) FEET ON CENTER. TREES TO BE PLANTED SHALL HAVE TRUNKS AT LEAST THREE (3) TO THREE AND ONE-HALF (3 1/2) INCHES IN DIAMETER WHEN MEASURED SIX (6) INCHES ABOVE THE GROUND. ii) SHRUBS SHRUBS SHALL BE PLANTED ALONG WITH TREES IN A LANDSCAPE SCREENING AREA. SHRUBS MAY BE DECIDUOUS OR EVERGREEN, OR A MIXTURE OF BOTH TYPES, AND SHALL BE DENSELY PLANTED TO PROVIDE A MATURE APPEARANCE WITHIN THREE (3) YEARS. FOR LANDSCAPE SCREENING AREAS WHICH ADJUT ACENT RESIDENTIAL USES, SHRUBS MAY BE UP TO SEVEN (7) FEET IN HEIGHT TO PROVIDE A MORE EFFECTIVE BUFFER BETWEEN LAND USES.	INTERIOR PARKING LOT TREES PROVIDED REQUIRED: 123 SPACES / 10 = 12.3 TREES PROVIDED: 12 TREES PROPOSED PROPOSED PARKING DOES NOT ADJUT SIDEWALK OR STREET. PROPOSED PARKING DOES NOT ADJUT SIDEWALK OR STREET. SIDE LOT LINES ARE LINED BY EXISTING VEGETATION TO REMAIN SIDE LOT LINES ARE LINED BY EXISTING VEGETATED BUFFER TO REMAIN N/A	

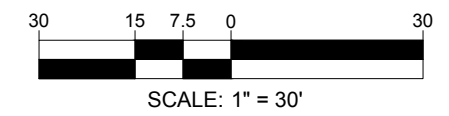
HATCH LEGEND

HATCH	DESCRIPTION
[Hatch pattern]	PROP NATIVE STEEP SLOPE MIX
[Hatch pattern]	PROP HYDROSEED LAWN
[Hatch pattern]	PROP CRUSHED STONE
[Hatch pattern]	PROP DECORATIVE STONE

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
GTIS	6	GLEDITSIA TRIACANTHOS INERMIS	SHADEMASTER HONEY LOCUST	3-3.5" CAL.	B&B
QP	6	QUERCUS PALUSTRIS	PIN OAK	3-3.5" CAL.	B&B
EVERGREEN TREES					
TOE	10	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6-8"	B&B
SHRUBS					
JCSG	8	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24-36"	CONTAINER
PMM	17	PINUS MUGO 'MOPS'	MOPS MUGO PINE	18-24"	CONTAINER
RDW	23	RHODODENDRON AZALEA 'DELAWARE VALLEY WHITE'	'DELAWARE VALLEY WHITE' AZALEA	18-24"	CONTAINER
RXC	19	RHODODENDRON X 'CHECKMATE'	'CHECKMATE' RHODODENDRON	18-24"	CONTAINER
GRASSES					
PVS	19	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.	CONTAINER
SSL	191	SCHIZACHYRIUM SCOPARUM	LITTLE BLUESTEM	1 GAL.	CONTAINER
GROUND COVER					
JHBC	4	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	15-18" SPRD	CONTAINER
PERENNIALS					
EPM	59	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	1 GAL.	CONTAINER
HAG	40	HEUCHERA X 'GREEN SPICE'	GREEN SPICE CORAL BELLS	2 QT.	CONTAINER
HSD	62	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL.	CONTAINER

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



P:\2024\MAA240174-00\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\SP-CIVL-LS-CP-MAA240174-00-0A-LAYOUT-L-101-LS-CP

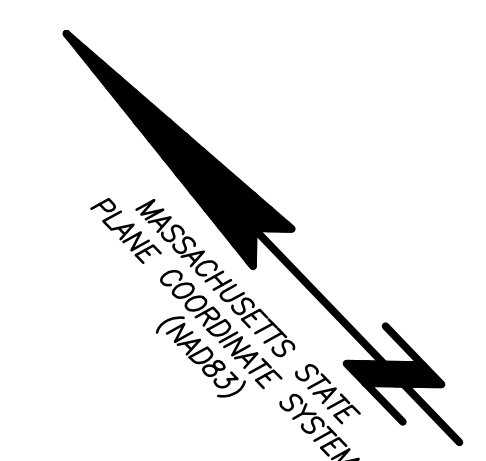
NOTES:

- BENCH MARK INFORMATION:
TEMPORARY BENCH MARKS SET:
TBM1: MAG NAIL SET AT THE NORTHWESTERLY TERMINUS OF GIBBS STREET, AS SHOWN HEREON.
ELEVATION = 501.08
TBM2: DRILL HOLE SET ON THE NORTH SIDE OF MILLBURY STREET, 8'± FROM THE SOUTHEASTERLY CORNER OF LOCUS, AS SHOWN HEREON.
ELEVATION = 446.27'
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR WORCESTER COUNTY, MASSACHUSETTS, MAP NUMBER 25027C0806E, CITY OF BOSTON COMMUNITY NUMBER 250349, PANEL NUMBER 806, HAVING AN EFFECTIVE DATE OF JULY 4, 2011.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE THEREFORE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

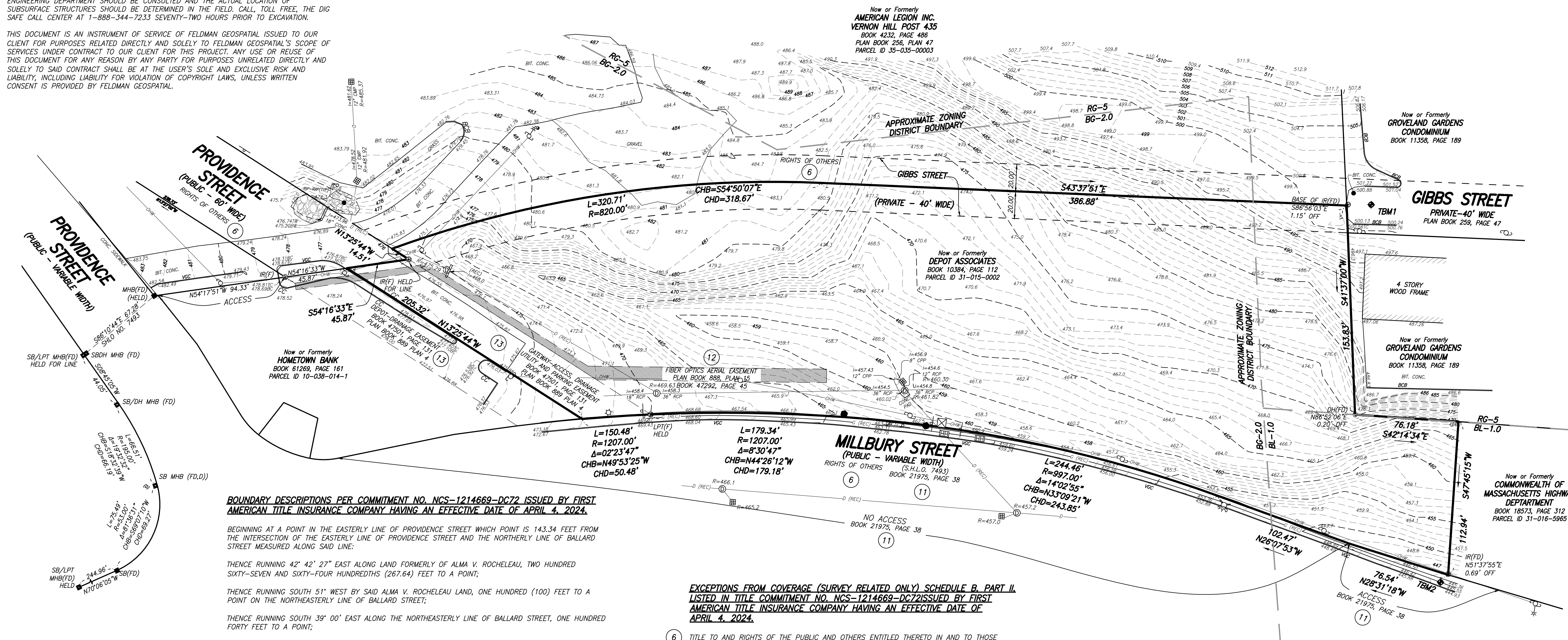
ZONING CLASSIFICATION

ZONING DISTRICT: **RG-2.0**

MAXIMUM FLOOR AREA RATIO	2:1
MINIMUM LOT SIZE	5,000 SQ. FT.
MINIMUM LOT AREA/DWELLING	40 SQ. FT.
MINIMUM FRONT YARD	N/A
MINIMUM SIDE YARD	N/A
MINIMUM REAR YARD	15 FEET
MAXIMUM HEIGHT	50 FEET



- THE PROPERTY SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN TITLE COMMITMENT NUMBER NCS-1214669-DC72 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF APRIL 4, 2024
- THE SUBJECT PROPERTY HAS DIRECT ACCESS TO BOTH PROVIDENCE STREET AND MILLBURY STREET (LIMITED), BOTH PUBLIC WAYS.
- ZONING INFORMATION AS SHOWN HEREON WAS NOT PROVIDED BY THE TITLE INSURER AS REQUIRED BY ITEM 6 (A OR B) OF TABLE "A" IN THE 2021 ALTA SURVEY REQUIREMENTS.
- NO STRIPED SURFACE PARKING SPACES WERE OBSERVED ON THE LOCUS PARCEL AT THE TIME OF SURVEY.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED AT THE TIME OF SURVEY.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, NO EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED AT THE TIME OF SURVEY.



BOUNDARY DESCRIPTIONS PER COMMITMENT NO. NCS-1214669-DC72 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF APRIL 4, 2024.

BEGINNING AT A POINT IN THE EASTERLY LINE OF PROVIDENCE STREET WHICH POINT IS 143.34 FEET FROM THE INTERSECTION OF THE EASTERLY LINE OF PROVIDENCE STREET AND THE NORTHERLY LINE OF BALLARD STREET MEASURED ALONG SAID LINE:
 THENCE RUNNING 42° 42' 27" EAST ALONG LAND FORMERLY OF ALMA V. ROCHELEAU, TWO HUNDRED SIXTY-SEVEN AND SIXTY-FOUR HUNDREDTHS (267.64) FEET TO A POINT;
 THENCE RUNNING SOUTH 51° WEST BY SAID ALMA V. ROCHELEAU LAND, ONE HUNDRED (100) FEET TO A POINT ON THE NORTHEASTERLY LINE OF BALLARD STREET;
 THENCE RUNNING SOUTH 39° 00' EAST ALONG THE NORTHEASTERLY LINE OF BALLARD STREET, ONE HUNDRED FORTY FEET TO A POINT;
 THENCE RUNNING NORTHERLY ALONG LAND OF OWNERS UNKNOWN TWO HUNDRED NINETY-THREE AND SEVENTY-ONE HUNDREDTHS (293.71) FEET TO A POINT ON THE SOUTHEASTERLY LINE OF GIBBS STREET;
 THENCE RUNNING WESTERLY ALONG THE SOUTHEASTERLY LINE OF GIBBS STREET, SEVEN HUNDRED FIFTEEN (715) FEET MORE OR LESS TO THE EASTERLY LINE OF PROVIDENCE STREET;
 THENCE TURNING AND RUNNING SOUTH 03° 46' EAST ALONG THE EASTERLY LINE OF PROVIDENCE STREET, THREE HUNDRED SEVENTY-FIVE (375) FEET MORE OR LESS TO THE POINT OF BEGINNING.

TOGETHER WITH THE RIGHT TO USE GIBBS STREET AS SHOWN ON A PLAN DATED AUGUST 1961 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS, PLAN BOOK 259, PLAN 47, IN COMMON WITH OTHERS FOR THE PURPOSE FOR WHICH STREETS AND WAYS ARE USED IN THE CITY OF WORCESTER, BEING THE SAME PREMISES CONVEYED TO H. LOUIS ROCHELEAU, JR., BY DEED OF ANNA E. ROCHELEAU DATED JUNE 6, 1973, AND RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 5352, PAGE 315.

ALSO THE LAND IN WORCESTER BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF LOT 66, LOCATED ON THE EASTERLY SIDE OF BALLARD STREET;
 THENCE EASTERLY BY LAND NOW OR FORMERLY OF THE CITY OF WORCESTER, ABOUT ONE HUNDRED AND FIFTY-FOUR AND EIGHT HUNDREDTHS (154.08) FEET TO A POINT;
 THENCE NORTHERLY BY LAND NOW OR FORMERLY OF THE CITY OF WORCESTER AND BY LAND NOW OR FORMERLY OF ERNEST P. SWENSON AND ANNA E. SWENSON ABOUT SEVENTY-SIX AND EIGHTEEN HUNDREDTHS (76.18) FEET TO A POINT;
 THENCE WESTERLY BY LAND NOW OR FORMERLY OF H. LOUIS ROCHELEAU, TRUSTEE FOR H. LOUIS ROCHELEAU, JR., ABOUT ONE HUNDRED AND SIXTY-ONE AND NINETEEN HUNDREDTHS (161.19) FEET TO A POINT;
 THENCE SOUTHERLY BY BALLARD STREET ABOUT FIFTY-EIGHT AND THIRTY-TWO HUNDREDTHS (58.32) FEET TO THE POINT OF BEGINNING.

EXCEPTIONS FROM COVERAGE (SURVEY RELATED ONLY) SCHEDULE B, PART II, LISTED IN TITLE COMMITMENT NO. NCS-1214669-DC72 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF APRIL 4, 2024.

- TITLE TO AND RIGHTS OF THE PUBLIC AND OTHERS ENTITLED THERETO IN AND TO THOSE PORTIONS OF THE LAND LYING WITHIN THE BOUNDS OF ADJACENT STREETS, ROADS, AND WAYS. - (AS SHOWN HEREON)
- TAKING (SLOPE EASEMENTS) BY THE CITY OF WORCESTER THROUGH EMINENT DOMAIN DATED JUNE 2, 1952, AND RECORDED ON JUNE 12, 1953, AT BOOK 3509, PAGE 151. [PLAN BOOK 190, PLAN 034] - (NOT LOCUS - EASEMENTS ARE WITHIN THE 1999 LAYOUT OF PROVIDENCE STREET)
- NOTE: DUE TO RELOCATIONS AND NAME CHANGES WE ARE UNCERTAIN THAT THIS EASEMENT PERTAINS TO THE SUBJECT LOCUS BUT IT HAS BEEN INCLUDED FOR THOROUGHNESS. A SURVEYOR COULD LIKELY SITUATE THIS EASEMENT MORE ACCURATELY.
- DEPARTMENT OF HIGHWAYS, DATED AUGUST 18, 1999, AND RECORDED ON AUGUST 31, 1999, AT BOOK 21795, PAGE 038. [PLAN BOOK 745, PLAN 090] - (AS SHOWN HEREON) - (TEMPORARY EASEMENTS HAVE EXPIRED)
- EASEMENT DEED FROM DEPOT ASSOCIATES, INC. AND GATEWAY M, LLC (COLLECTIVELY GRANTORS) TO THE FIBER TECHNOLOGIES NETWORK, LLC GRANTING A PERMANENT, NON-EXCLUSIVE, FIBER OPTICS AERIAL EASEMENT, DATED MARCH 31, 2011, AND RECORDED ON APRIL 14, 2011, AT BOOK 47292, PAGE 045. [PLAN BOOK 888, PLAN 015] - (AS SHOWN HEREON)
- EASEMENT AND RESTRICTION AGREEMENT (REGARDING A DISCONTINUED PORTION OF PROVIDENCE ST.) BY AND BETWEEN GATEWAY M, LLC (HEREINAFTER "GATEWAY") AND DEPOT ASSOCIATES, INC. (HEREINAFTER "DEPOT"), BEING DATED JUNE 9, 2011, AND RECORDED ON JUNE 17, 2011, AT BOOK 47501, PAGE 131. SAID AGREEMENT AFFORDS ACCESS, DRAINAGE, UTILITY, AND PARKING EASEMENTS OVER THE DEPOT PORTION OF THE DISCONTINUED PARCEL TO GATEWAY AND AFFORDS DEPOT A DRAINAGE EASEMENT OVER THE GATEWAY PORTION OF THE DISCONTINUED PARCEL. FURTHERMORE, DEPOT GRANTS A RESTRICTION PROHIBITING A FULL-SERVICE BANK OR CREDIT UNION ON ITS COMBINED PARCEL, FOR THE BENEFIT OF GATEWAY. [PLAN BOOK 889, PLAN 004] - (AS SHOWN HEREON)

REFERENCES

- WORCESTER COUNTY REGISTRY OF DEEDS
- PLAN IN BOOK 259, PAGE 47
 - PLAN IN BOOK 840, PAGE 60
 - PLAN IN BOOK 883, PAGE 10
 - PLAN IN BOOK 884, PAGE 26
 - PLAN IN BOOK 889, PAGE 4
 - PLAN IN BOOK 769, PAGE 71
 - PLAN IN BOOK 143, PAGE 71
 - PLAN IN BOOK 888, PAGE 15
 - PLAN IN BOOK 214, PAGE 53
- MASSACHUSETTS HIGHWAY DEPARTMENT
LAYOUT #7493

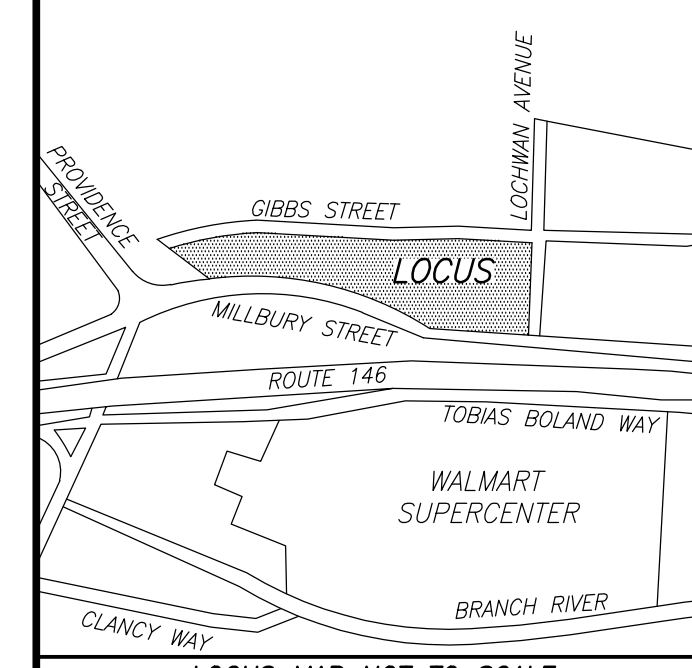
LEGEND

⊙	..... DRAIN MANHOLE	FD	..... FOUND
⊙	..... HYDRANT	I=	..... INVERT ELEVATION
⊙	..... CATCH BASIN	IR	..... IRON ROD
⊙	..... TRAFFIC SIGNAL	L=	..... ARC LENGTH
⊙	..... UTILITY POLE	R=	..... RADIUS OR RIM ELEVATION
⊙	..... LIGHT POLE	(R)	..... RECORD
⊙	..... ELECTRIC HANDHOLE	SB	..... STONE BOUND
⊙	..... SIGN	TBM	..... TEMPORARY BENCH MARK
⊙	..... UTILITY POLE W/ LIGHT	TC	..... TOP OF CURB
BC	..... BOTTOM OF CURB	TW	..... TOP OF WALL
BCB	..... BIT. CONC. BERM	~X.XX	..... TOTAL OR OVERALL DISTANCE
BIT	..... BITUMINOUS	TYP.	..... TYPICAL
BW	..... BOTTOM OF WALL	VGC	..... VERTICAL GRANITE CURB
CHB	..... CHORD BEARING	-D	..... DRAIN
CHD	..... CHORD DISTANCE	-E	..... ELECTRIC
CONC.	..... CONCRETE	-G	..... GAS
Δ	..... DELTA ANGLE	-OHW	..... OVERHEAD WIRES
DH	..... DRILL HOLE	~~~~~	..... EDGE OF WOODED AREA

BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com

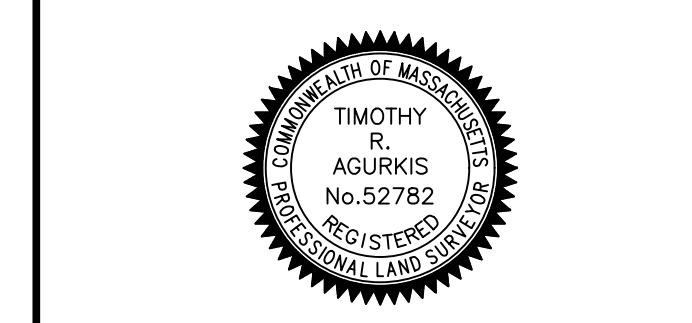


TO: PARK SILVER DEVELOPMENT, LLC & FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JUNE 7, 2024.

FELDMAN GEOSPATIAL

TIMOTHY R. AGURKIS, PLS DATE 6-28-24
(MA# 52782)
TAGURKIS@FELDMANGEO.COM



ALTA/NSPS LAND TITLE SURVEY

277 PROVIDENCE STREET
WORCESTER, MASS.

DATE: JUNE 7, 2024

REVISIONS:

FILENAME:	2400611-EC.dwg
RESEARCH:	TRA/DMS
PROJ MGR:	DMS
CALC:	TRA/DMS
FIELD CHK:	KF
FIELD CHIEF:	KF
APPROVED:	
CADD:	NL/DMS
CRD FILE:	2400611

SCALE: 1"=40'

SHEET NO. 1 OF 1